



ROWE
GROUP

Job Ref: 9013
16 December 2019

Chief Executive Officer
Shire of Dardanup
PO Box 7016
Eaton WA 6232

Attention: Cecilia Muller (Shire of Dardanup – Principal Planning Officer)

Dear Cecilia

**Roadhouse Development Application
Lot 603 (No. 96) Martin-Pelusey Road, Picton East**

Rowe Group acts on behalf Harris Road Pty Ltd (the 'Client') the registered proprietors of Lot 603 (No. 96) Martin-Pelusey Road, Picton East (the 'subject site'). We have been instructed to prepare a Development Application for a Roadhouse within a portion of the subject site. This portion of the site is referred to as the 'Development Area'. **This letter has been updated to include additional information requested by the Shire of Dardanup (the 'Shire') and therefore supersedes the correspondence dated 5 September 2019.**

The application is submitted in the context that a proposed Local Structure Plan (LSP) "Precinct 2A" has been prepared and submitted to the Shire for review in parallel to this application. While this application can be determined on its merits, independently of the proposed LSP, substantial context information is provided in the LSP which will assist assessment of this application. The LSP has been compiled with technical material (relating to environmental, local water management, servicing, bushfire management, SPP 5.4 and other matters). Additional copies of the proposed LSP can be provided on request should they be necessary to accompany this application.

The following amendments have been made to application drawings originally submitted:

- Setbacks provided within Architectural Drawings;
- Reconfiguration of the proposed car parking bays (13 to 15);
- Inclusion pedestrian pathway from the proposed truck canopy;
- Left in light vehicle crossing;
- Increase in area of development site; and

Level 3
369 Newcastle Street
Northbridge 6003
Western Australia

p: 08 9221 1991
f: 08 9221 1919
info@rowegroup.com.au
rowegroup.com.au



- Increase in width of heavy vehicle ingress and egress crossing.

To assist in processing this application, please find enclosed the following:

- A signed Development Application Form;
- A CD containing an electronic version of this application;
- Certificate of Title (refer Attachment 1);
- Clause 53 Bunbury Region Scheme Certificate (refer Attachment 2);
- Bushfire Attack Levels (Refer Attachment 3);
- Updated Architectural Drawings (refer Attachment 4);
- Service Station Site (refer Attachment 5); and
- Martin-Pelusey Road Design (refer to Attachment 6).

Location and Site Detail

The subject site is located approximately 12 kilometres to the southeast of the Bunbury CBD. The site details are included within the table below.

LOT	DEPOSITED PLAN	LANDOWNER	VOLUME / FOLIO	AREA (HA)
Lot 603 Columbus Dr	246179	Harris Road Pty Ltd	2044 / 266	39.242

Refer Attachment 1 – Certificate of Title and Attachment 2 – Clause 53 Bunbury Region Scheme Certificate.

Existing Improvements

The subject site is currently used for general farming and grazing purposes. In accordance with the Department of Fire and Emergency Services ('DFES') Map of Bush Fire Prone Areas, portions of the subject site are identified as "bushfire prone". It should be noted that clearing of vegetation has recently occurred in the preparation of additional grazing and also coincides with the preparation of the proposed development.

A Bushfire Management Plan has been prepared as part of the proposed Precinct 2A Structure Plan. The Development Area of the subject site is identified as 'Bushfire Attack Level – Low' within the Bushfire Attack Level Assessment.

Any interim measures to the management of bushfire setbacks to the proposed development can occur within the site, pending broader management plans of the proposed LSP over the subject site and surrounding land.

Refer Attachment 3 – Bushfire Attack Levels.



Proposed Development

The proposed Roadhouse is located at the south eastern portion of the subject site and will contain a development area of approximately 9,769m². The proposed development is to contain the following:

- Retail building with a floor space of 265m²;
- Retail car canopy;
- Retail truck canopy;
- Tank farm;
- 15 car parking bays; and
- Pylon ID sign and promo sign.

Refer Attachment 4 - Architectural Drawings and Attachment 5 – Service Station Site.

Town Planning Considerations

Greater Bunbury Region Scheme

Under the provisions of the *Greater Bunbury Region Scheme*, the subject site is predominantly zoned 'Industrial Deferred', with a portion of the eastern edge reserved for Primary Regional Roads ('PRR'). The reserve varies between 98m and 82m in width and was incorporated in the GBRS to accommodate a now superseded alignment for the Bunbury Outer Ring Road ('BORR').

Picton Industrial Park Southern Precinct District Structure Plan

The subject site, and Development Area, is located within the Picton Industrial Park Southern Precinct DSP. This DSP contemplates future industrial use of the land consistent with the *Industry 2030* and *Greater Bunbury Strategy* documents. The DSP contemplates several local planning precincts for the purposes of Local Structure Plan (LSP) preparation. The subject land, and the Development Area, is located within Precinct 2 of the DSP. Following consultation with the Shire, a draft LSP for Precinct 2A, comprising a portion of Precinct 2, has been submitted to the Shire for its assessment. Substantial site and surround context, review of planning framework considerations, and technical material accompanies the Precinct 2A LSP. This application is submitted entirely in the context of the existing zoning of the land, and the proposed Precinct 2A LSP.

Shire of Dardanup Town Planning Scheme No. 3

Under the provisions of the *Shire of Dardanup Town Planning Scheme No. 3* ('TPS 3') the subject site is zoned 'General Farming' along with the above mentioned portion of land reserved for PRR associated with the former BORR alignment.



Land Use Permissibility

As the majority of the proposed development is within the 'General Farming' Zone, it is considered appropriate to be assessed under the provisions of the 'General Farming' Zone.

The proposed development is consistent with a 'Roadhouse' land use as defined in TPS 3. A 'Roadhouse' is defined under TPS 3 as follows:

Means a land and a building or buildings with a basic use as a service station and a supplementary use as a restaurant providing minor shop facilities;

Furthermore, a 'Service Station' is defined under TPS 3 as follows:

service station means premises used for –

- (a) the retail sale of petroleum products, motor vehicle accessories and goods of an incidental/convenience retail nature; and*
- (b) the carrying out of greasing, tyre repairs and minor mechanical repairs to motor vehicles, but does not include premises used for a transport depot, panel beating, spray painting, major repairs or wrecking;*

The proposed development is considered consistent with the definition of a 'Service Station' as it includes the sale of petroleum products and allows for the carrying out of greasing, tyre repairs and minor vehicle repairs within the development area (at either dedicated air and water parking or in the main parking). The proposed development is consistent with the land use definition of a 'Roadhouse' as it provides a basic use as a service station and a supplementary use as a minor restaurant.

A 'Roadhouse' use is classified as a 'D' use within the 'General Farming' Zone in accordance with the Zoning Table. Furthermore, TPS 3 states that 'Non Urban' Zones shall have regard to the following:

- a) the need to protect the economic viability of the rural land use generally;*
- b) the need to preserve the rural character and a rural appearance of the area;*
- c) the need to ensure that the existing standard of roads, water and electricity supply and other services is sufficient for the additional demands that the proposed development would create; and*
- d) the need to ensure that in general all buildings are at least twenty metres from any lot boundary adjoining a street and the Council may require an additional setback in order to preserve the rural character of the area.*

The proposed development is consistent with the above mentioned objectives which is discussed further within the Design Elements section of this justification letter.



It should be noted that documents for the 'Lifting of Industrial Deferment' and a Structure Plan are being prepared for lodgement over Lots 103,110 and 603. The 'Lifting' request will also seek concurrent rezoning of the land and surrounding lots to 'General Industry' Zone under TPS3. Importantly, a 'Roadhouse' use is also classified as a 'D' use within the 'General Industry' Zone, with reduced setback requirements.

The proposed use is capable of being approved under the current zoning of the land, and importantly, does not comprise the future planning of the land or contemplated future use of the land for General Industry. In due course, the Roadhouse is fully intended to cater to the surrounding general industrial area.

Development Criteria

The following section addresses the design criteria for the 'General Farming' Zone contained within TPS 3.

Street Setbacks

In accordance with Appendix II of TPS 3, land uses within the 'General Farming' Zone require a minimum setback of 20 metres from the primary street, secondary street, rear boundary and side boundary. Given the size of the existing lot, the development is set back well in excess of the required distance to the primary street, rear and side boundary. The proposed development is therefore consistent with the setback requirements within the 'General Farming' Zone.

Car Parking

TPS 3 does not identify parking requirements for a 'Roadhouse' use. While the proposal is consistent with a 'Service Station' which is identified within the table below, the rate of parking provision for a service station reflects a greater retail service offering in an urban location. The proposed Roadhouse will cater to primarily surrounding industrial traffic, in particular freight traffic, with some passing light vehicle trade. Accordingly, 29 bays are proposed, comprising a mixture of service bays at the bowser, and allocated parking bays.

LAND USE	PARKING REQUIREMENT (AS PER APPENDIX IIA – CAR PARKING OF TPS3)	PROPOSED SERVICE BAYS	CAR PARKING BAYS REQUIRED	CAR PARKING BAYS PROPOSED
'Service Station' – (for comparison purposes only)	4 spaces for every service bay	14	56	15

In this instance, the reference to service station parking requirements is for comparison only. The parking proposed to be supplied on site is considered an appropriate mix of bowser bays for retail light vehicles, truck fuel sales, and general customer parking.



Development Control Policy 1.10 – Freeway Service Centres and Roadhouses, Including Signage

The Western Australian Planning Commission (WAPC) has adopted *Development Control Policy 1.10 – Freeway Service Centres and Roadhouses, Including Signage* ('DCP 1.10'). The policy applies to freeway service centres and roadhouses, including associated signage, located on state roads.

In accordance with DCP 1.10 a Roadhouse is defined as the following:

Roadhouse means premises that has direct access to a State road other than a freeway and which provides the services or facilities provided by a freeway service centre and may provide any of the following additional facilities or services-

- (a) a full range of automotive repair services;*
- (b) wrecking, panel beating and spray painting services;*
- (c) transport depot facilities;*
- (d) short-term accommodation for guests (including motel and caravan sites, generally in remote locations);*
- (e) facilities for being a muster point in response to accidents, natural disasters and other emergencies.*

As the proposed development is located along a proposed PRR (being Martin-Pelusey Road). Martin-Pelusey Road will remain a significant north-south connection link for movement between Southern Western Highway and the proposed BORR. The proposed Roadhouse will service this key route, and additionally it is located between the Picton Industrial Park and the Waterloo Industrial District Structure Plan area and will provide a service to these industrial areas through truck and car fuelling areas, and retail building.

The proposed development is considered generally consistent with the design, signage and siting measures, which is discussed in greater detail in the Design Elements section of this justification letter.

Refer to Attachment 6 – Martin-Pelusey Road Design.

Design Elements

The following design elements discussed below can be referred to within Attachment 3 – Architectural Drawings.

Building Height and Scale

The proposed development incorporates the following building heights:

- Retail building (5.15 metres);
- Retail car canopy (5.5 metres); and
- Retail truck canopy (6.5 metres).



The proposed development incorporates building heights which are consistent with that of a two (2) storey building. The fuel tank farm, serving both light vehicle and truck canopy areas is centrally located.

Building Design and Materials

The proposed retail building incorporates building design features and materials which reflect the nature of the use. The proposal has been designed to be visible to passing traffic while being safely site side on to Martin-Pelusey Road.

A significant portion of the retail building façade contains glazing, allowing for passive surveillance into the car parking area, retail vehicle canopy and primary road. Blade awnings with a black and white pattern are also located along the façade of the retail building, providing shelter for the seating area, further softening the scale of the proposed building.

Access and Egress

The proposed development contains a separate left in, heavy vehicle ingress crossing (15.585 metres wide) which 'loops' into the retail truck canopy and towards the heavy vehicle egress crossing (26.330 metres wide). Swept paths have been provided which demonstrate RAV 4 and RAV 7 movements within the proposed development.

The proposed development also contains a left in crossing ('light vehicle crossing' - 8 metres wide) which allows vehicles to access the retail car canopy and car parking bays.

The entrance to the proposed retail building is clearly identified at the front of the store and immediately adjoining car parking bays. Pedestrian access is also consistent with Australian Standard AS1428.1 (Disabled and Limited Mobility).

Signage

The proposed development includes a 2.3 metre promotion sign which is located within northern portion of the development. This sign contains company promotions relating to the retail building.

The proposed development also includes a 12 metre pylon identification sign with fuel price lines within the north eastern portion of the development. This sign is a necessary form of signage for all Roadhouse developments as it provides customers with fuel pricing and locational details. A sign of this nature is appropriate at the subject site and should be supported.

Lighting

Sufficient lighting is provided within the surrounding car parking area and retail building. Furthermore, adequate lighting is proposed under the retail truck canopy and retail car canopy.



Stormwater and Drainage

All stormwater runoff from the truck and light vehicle canopy areas will be captured on site. In particular, hardstand runoff will be captured in the purceptor located within the designated landscaping area. The purceptor will filter all fuel elements from stormwater for safe disposal with treated clean water able to be discharged into soak wells and /or landscaping. Roof runoff from fuel canopy areas or the retail building will be discharged to soak wells and landscaped drainage areas.

A Local Water Management Strategy has been prepared as part of the proposed Precinct 2A Structure Plan, submitted to the Shire, which provides further information in regard to the subject site and surrounding area.

Landscaping

The proposed development contains landscaping to the front and sides of the development. Further landscaping is provided within the centre of the site providing separation from vehicles using the retail truck canopy or the retail car canopy.

The following planting list will be used for the proposed landscaping area.

- › Trees
 - Agonis flexuosa
- › Shrubs
 - Melaleuca huegelii
 - Hakea oleifolia
 - Acacia cyclops
 - Acacia stenoptera
 - Hovea trisperma
- › Strap Like
 - Anigozanthos manglesii

The above-mentioned planting list is considered to represent the local landscape setting, while also providing adequate sightlines for pedestrians and vehicles.

Summary

This letter has been prepared in support of the development of a Roadhouse at the subject site, being portion of Lot 603 (No. 96) Martin-Pelusey Road, Picton East.

The proposed Roadhouse is considered appropriate and justified at the subject site for the following reasons outlined herein. The chosen location will cater to existing traffic on Martin-Pelusey Road and ultimately serve an important function centrally within the wider Picton / Waterloo Industrial Areas within the new Bunbury Outer Ring Road. The application has regard to the existing site, being located within a cleared area of the



property adjoining Martin-Pelusey Road, while also accounting for currently proposed LSP for the site and surrounds.

Should you require any further information or clarification in relation to this matter, please contact either Blair Stroud on 9221 1991 or the undersigned.

Yours faithfully,

Rod Dixon

Rowe Group



Attachment One

Certificate of Title



Attachment Two

Clause 53 Bunbury Region Scheme Certificate



Enquiries: Trevor Servaas (08) 6551 9110
Our Ref: 53 / 59683025
Your Ref: 9013

GREG ROWE PTY LTD
LEVEL 3, 369 NEWCASTLE STREET
NORTHBRIDGE
6007 WA

Dear Sir/Madam

**CERTIFICATE UNDER CLAUSE 53 OF THE GREATER BUNBURY REGION SCHEME
ISSUED BY THE WESTERN AUSTRALIAN PLANNING COMMISSION**

In reply to your request, please find enclosed
Certificate Number: 59683025

It is advised that the enclosed Certificate has been prepared to conform with the current Statutory requirements (as at the date of signature) of the Greater Bunbury Region Scheme

Yours faithfully,

A handwritten signature in black ink, appearing to read "S Fagan".

Ms Sam Fagan
Secretary
Western Australian Planning Commission

5 August 2019



wa.gov.au

Postal address: Locked Bag 2506 Perth WA Street address: 140 William Street Perth WA 6000
Tel: (08) 6551 8002 Fax: (08) 6551 9001 TTY: 6551 9007 Infoline: 1800 626 477
info@dph.wa.gov.au www.dph.wa.gov.au
ABN 35 482 341 493



Scheme Certificate

In accordance with clause 53 of the

Greater Bunbury Region Scheme the following information relates to:

Certificate:
59683025

Receipt:
None

Date:
6/08/2019

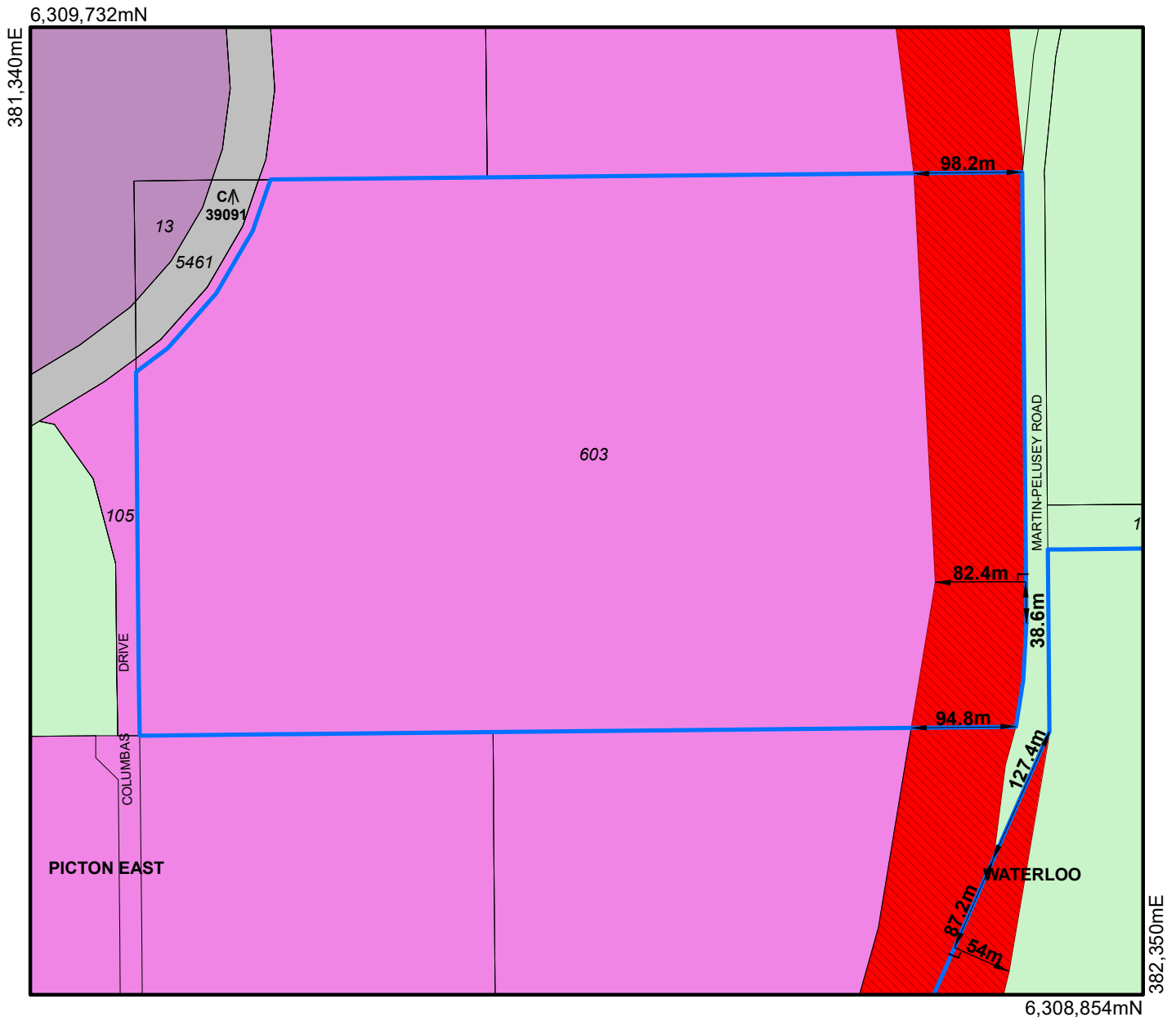
Location: Martin-Pelusey Rd, Picton East

Certificate of Title: Vol: 2044 Folio:266

Deposited Plan: 246179

Legend for reserved land and zones

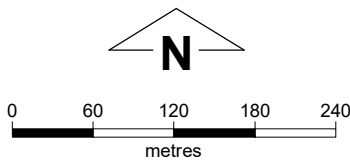
- Environmental conditions
- Industrial deferred
- Railways
- Industrial
- Primary regional roads
- Rural



This certificate relates only to the provisions of the:
Greater Bunbury Region Scheme
and does not claim to indicate the land use allocation under any local government provision.

Produced by Data Analytics,
Department of Planning, Lands and Heritage, Perth WA.

Base information supplied by:
Western Australian Land Information Authority SLIP 1096-2018-1



Coordinates based on MGA Zone 50 (GDA 94)
All dimensions are in metres
Subject to survey

Ms Sam Fagan
Secretary
Western Australian Planning Commission



Statement No.

GOVERNMENT OF WESTERN AUSTRALIA

000697

MINISTER FOR THE ENVIRONMENT; SCIENCE

**STATEMENT THAT A SCHEME MAY BE IMPLEMENTED
(PURSUANT TO THE PROVISIONS OF DIVISION 3 OF PART IV OF THE
ENVIRONMENTAL PROTECTION ACT 1986)**

GREATER BUNBURY REGION SCHEME

Scheme Purpose: To guide and regulate the use and development of land and to make provisions for regional infrastructure and regional open space within the Greater Bunbury Region.

Responsible Authority: Western Australian Planning Commission

Responsible Authority Address: 469 Wellington Street, PERTH WA 6000

Assessment Number: 1048

Report of the Environmental Protection Authority: Bulletin 1108

Subject to the following conditions, there is no known environmental reason why the Greater Bunbury Region Scheme to which the above report of the Environmental Protection Authority relates should not be implemented:

1 Additional Land to be Reserved

1-1 All or portions of the following sites shall be reserved for conservation, in accordance with the requirements set out in Attachment 1 of the Minister for the Environment's "Statement that a Scheme may be Implemented" No. 000697 published on (date):

- 1) Reserve 35061 Paris Road, Australind - Decommissioned Wastewater Treatment Plant
- 2) Reserve 31012 Harewoods Road, Dalyellup
- 3) Foreshore adjoining Port Installations Reserve
- 4) Twin Rivers - Pt Lot 211 Barnes Avenue, Australind
- 5) College Grove - Lot 1000 Bussell Highway
- 6) Pt Loc 632 Parade Road, Glen Padden
- 7) Reserve 670 North Boyanup Road, Davenport
- 8) Picton Waters – Environmental Protection Policy Lake on portion of Lots 40-44 Jeffery Road, Picton
- 9) Pt Lot 1 North Boyanup Road, Davenport
- 10) Lot 317 Harewoods Road, Dalyellup
- 11) Lot 1, Dalyellup Boulevard, Dalyellup

Published on

31 OCT 2005

2 Realignment of Primary Regional Roads Reserves

2-1 Portions of the following Primary Regional Roads Reserves shall be realigned, in accordance with the requirements set out in Attachment 1 of the Minister for the Environment's "Statement that a Scheme may be Implemented" No. 000697 published on (date):

- 1) Port Access Road
- 2) Bunbury Outer Ring Road

CONDITIONS TO BE INCORPORATED INTO THE SCHEME BY INSERTION OF PROVISIONS IN SCHEME TEXT

3 Management Plans

3-1 The following Environmental Management Plans may be required in accordance with the specifications set out in Attachment 1 in the Minister for the Environment's "Statement that a Scheme may be Implemented" No. 000697 published on (insert date), and shall be subsequently implemented in accordance with the provisions of the Management Plans, to the satisfaction of the Western Australian Planning Commission:

- 1) Environmental Management Plans for schemes, subdivisions and developments which impact on Regional Open Space in the scheme, Crown conservation or nature reserves, a National Park or bushland, waterways, wetlands or other land that may be part of an ecological linkage;
- 2) Environmental Management Plans for industrial development within the Kemerton Industrial Area and Special Control Area No. 2;
- 3) Drainage, Nutrient and Water Management Plans in areas where the Average Maximum Groundwater Level is less than 1.2 metres below the natural ground surface or where any proposed off-site drainage could lead to degradation of wetlands or waterways; and
- 4) Acid Sulfate Soil Management Plans where the presence of acid sulphate soils is confirmed or there is likely to be a significant risk of disturbing acid sulphate soils.

4 Biological Survey

4-1 As part of a scheme amendment or application to subdivide or develop land which has the potential to impact on regionally significant native remnant vegetation or native fauna, the Western Australian Planning Commission or local government, as the case requires, may require a biological survey, including a search for Declared Rare Flora and Fauna, Priority Flora, Threatened Flora Communities and Threatened Fauna, to be undertaken.

The biological survey shall be undertaken to the satisfaction of the Western Australian Planning Commission or local government, as the case requires, having due regard for advice from relevant government agencies, and shall be taken into account when considering the rezoning and subsequent subdivision and development applications.

5 Provision of Environmental Offsets

- 5-1 Prior to construction of the Port Access Road and Bunbury Outer Ring Road, an environmental offset strategy shall be prepared to mitigate unavoidable impacts on wetlands and native vegetation associated with the Port Access Road and Bunbury Outer Ring Road to the satisfaction of the Western Australian Planning Commission on advice of the Environmental Protection Authority. With respect to the Port Access Road, the strategy shall include a foreshore management plan for the Ferguson River in the vicinity of the road. With respect to the Bunbury Outer Ring Road, the strategy shall include rehabilitation of the strip of land adjacent to the road in the vicinity of Lot 15 North Boyanup Road (South Western Highway) and design of the intersection with the Australind Bypass to minimize impacts on environmental values of the area.

Dr Judy Edwards MLA
MINISTER FOR THE ENVIRONMENT; SCIENCE

31 OCT 2005

**STATEMENT THAT A SCHEME MAY BE IMPLEMENTED –
GREATER BUNBURY REGION SCHEME**

**SPECIFICATIONS FOR ENVIRONMENTAL MANAGEMENT PLANS,
ADDITIONAL LAND TO BE RESERVED AND REALIGNMENT OF PRIMARY
REGIONAL ROAD RESERVES**

1 Environmental Management Plans for Schemes, Subdivisions and Developments

1-1 Prior to amending local town planning schemes, or finally approving subdivisions or developments (whichever is sooner), the Western Australian Planning Commission or local government, as the case requires, may require an Environmental Management Plan to be prepared and implemented to achieve the objective of managing the potential impacts of the proposed subdivision or development on the following:

- 1) land which is reserved as Regional Open Space in the Scheme;
- 2) a Crown conservation or nature reserve;
- 3) a National Park; or
- 4) bushland, waterway, wetland or land that may be part of an ecological linkage.

The Environmental Management Plan shall include:

- i) a description of existing environmental values, and the identification of the environmental outcome to be achieved through the implementation of the Plan;
- ii) clear delineation of boundaries of significant areas to be protected;
- iii) fire management;
- iv) drainage and nutrient management;
- v) management of access and rehabilitation;
- vi) vegetation and/or wetland mitigation strategies;
- vii) a program for implementation;
- viii) allocation of responsibilities and identification of timing and duration of implementation;
- ix) provision for routine monitoring of environmental values; and
- x) provision of details of contingency plans in the event that the monitoring surveys indicate that the development is having or has had an adverse impact upon environmental values.

- 1-2 Environmental Management Plans required by condition 1-1 shall be prepared to the satisfaction of the Western Australian Planning Commission or local government, as the case requires, having due regard for advice from relevant government agencies and shall be implemented in accordance with a program defined in the Environmental Management Plan.

2 Environmental Management Plans for Industrial Development within the Kemerton Industrial Area and Special Control Area No. 2

- 2-1 Prior to approving subdivision or development within the Kemerton Industrial Area and the Special Control Area No. 2, the Western Australian Planning Commission or local government, as the case requires, may require an Environmental Management Plan to be prepared and implemented to achieve the objective of managing the potential impacts of the proposed development.

The Environmental Management Plan shall include:

- 1) a description of existing environmental values (including vegetation, fauna and wetlands) and the identification of the environmental outcome to be achieved through the implementation of this Plan;
 - 2) management of potential impacts on visual amenity;
 - 3) clear delineation of significant areas to be protected;
 - 4) a program for implementation;
 - 5) allocation of responsibilities and identification of timing and duration of implementation;
 - 6) provision for routine monitoring of environmental values; and
 - 7) provision of details of contingency plans in the event that the monitoring surveys indicate that the subdivision or development is having or has had an adverse impact upon environmental values.
- 2-2 An Environmental Management Plan required by condition 2-1 shall be prepared to the satisfaction of the Western Australian Planning Commission or local government, as the case requires, having due regard for advice from relevant government agencies and shall be implemented in accordance with a program defined in the Environmental Management Plan.

3 Drainage, Nutrient and Water Management Plans

- 3-1 Prior to amending local town planning schemes, or finally approving subdivision or developments (including those for intensive horticulture), whichever is sooner, in areas where the Average Maximum Groundwater Level is less than 1.2 metres below the natural ground surface, or where any proposed off-site drainage could lead to degradation of wetlands or waterways, the Western Australian Planning Commission or local government, as the case requires, may require a Drainage, Nutrient and Water Management Plan to be prepared and implemented.

- 3-2 A Drainage, Nutrient and Water Management Plan, if required, shall ensure that there is no net increase in nitrogen export to the Leschenault Estuary as a result of development within the Greater Bunbury Region.
- 3-3 The Drainage, Nutrient and Water Management Plan shall be prepared to the satisfaction of the Western Australian Planning Commission or local government, as the case requires, having due regard for advice from relevant government agencies, and shall be implemented in accordance with a program defined in the Drainage, Nutrient and Water Management Plan.

4 Acid Sulfate Soil Management Plans

- 4-1 Prior to amending local town planning schemes, or finally approving subdivisions or development, the Western Australian Planning Commission or local government, as the case requires, may require a Preliminary Acid Sulfate Soils Assessment to be prepared where there is likely to be a significant risk of disturbing acid sulfate soils.
- 4-2 Where the presence of acid sulfate soils is confirmed, an Acid Sulphate Soil Management Plan shall be prepared to the satisfaction of the Western Australian Planning Commission or local government, as the case requires, having due regard for advice from relevant government agencies and implemented in accordance with a program defined in the Acid Sulphate Soil Management Plan.

5 Additional Land to be Reserved

5-1 Reserve 35061 Paris Road, Australind - Decommissioned Wastewater Treatment Plant

Land shall be reserved for conservation purposes to protect the integrity, function and environmental value of the bushland on the northern and western portions of Reserve 35061 Paris Road, Australind, to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-2 Reserve 31012 Harewoods Road, Dalyellup

Land shall be reserved for conservation purposes to protect the integrity, function and environmental value of the bushland on the northern portion of Reserve 31012 Harewoods Road, Dalyellup to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority and shall only be used for conservation, landscape and recreational purposes.

5-3 Foreshore adjoining Port Installations Reserve

Land shall be reserved for conservation purposes to protect the integrity, function and environmental value of the foreshore adjacent to the Port Installations Reserve to the requirements of the Western Australian Planning Commission on advice of the

Environmental Protection Authority and shall only be used for conservation and complementary purposes.

5-4 Twin Rivers - Pt Lot 211 Barnes Avenue, Australind

A portion of Pt Lot 211 Barnes Avenue as detailed in the Minister for the Environment's determination of appeals relating to the Environmental Protection Authority's report and recommendations on the Scheme, dated 30 November 2004, shall be reserved for conservation purposes to protect the integrity, function and environmental values of the land to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-5 Picton Waters – Environmental Protection Policy Lake on Portion of Lots 40-44 Jeffery Road, Picton

Land shall be reserved for conservation purposes to protect the integrity, function and environmental value of the wetland on Lots 40-44 Jeffery Road, Picton, to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes. The land requirements shall include an appropriate buffer to protect the core wetland.

5-6 College Grove – Lot 1000 Bussell Highway

A portion of Lot 1000, Bussell Highway, as detailed in the Minister for the Environment's determination of appeals relating to the Environmental Protection Authority's report and recommendations on the Scheme, dated 30 November 2004, shall be reserved for conservation purposes to protect the integrity, function and environmental values of the land to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-7 Pt Loc 632 Parade Road, Glen Padden

Land shall be reserved for conservation purposes to protect the integrity, function and environmental value of the bushland on Pt Loc 632 Parade Road, Glen Padden, to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-8 Reserve 670 North Boyanup Road, Davenport

Land shall be reserved for conservation purposes to protect the integrity, function and environmental value of the bushland on Reserve 670 North Boyanup Road, Davenport to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-9 Pt Lot 1 North Boyanup Road, Davenport

Land shall be reserved for conservation purposes to provide an appropriate buffer to the Preston River on Pt Lot 1, North Boyanup Road, Davenport to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-10 Lot 317 Harewoods Road, Dalyellup

Lot 317 Harewoods Road, Dalyellup shall be reserved for conservation purposes to protect the integrity, function and environmental value of the bushland on the land to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority, and shall only be used for conservation and complementary purposes.

5-11 Lot 1 Dalyellup Boulevard, Dalyellup

Lot 1 Dalyellup Boulevard, Dalyellup shall be reserved for conservation purposes to protect the integrity, function and environmental values of the land to the requirements of the Western Australian Planning Commission on advice of the Environmental Protection Authority and shall only be used for conservation and complementary purposes.

6 Realignment of Primary Regional Roads Reserves

6-1 Port Access Road

The Port Access Road Primary Regional Roads Reserve shall be realigned in accordance with the Minister for the Environment's determination of appeals relating to the Environmental Protection Authority's report and recommendations on the Scheme, dated 30 November 2004.

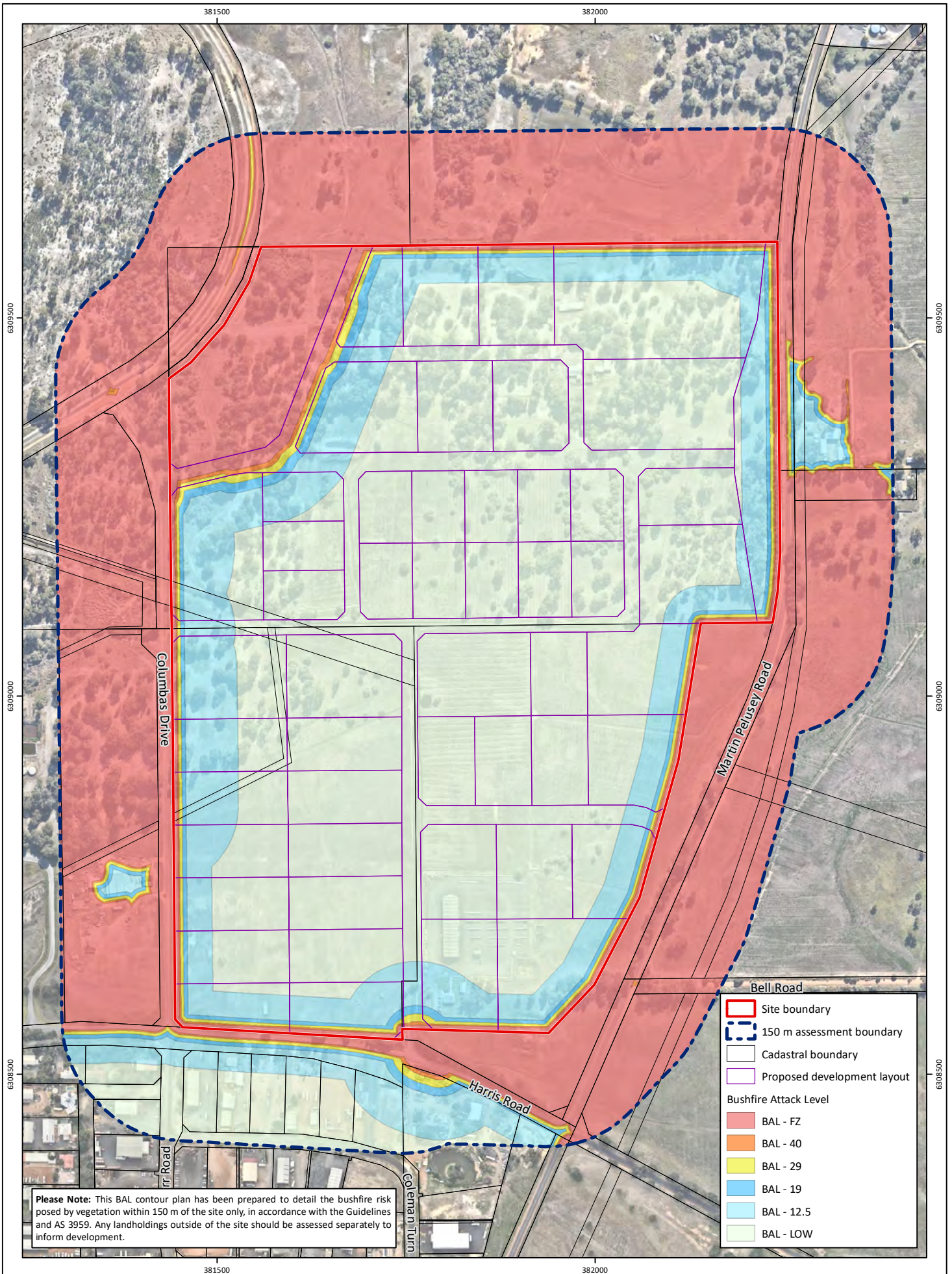
6-2 Bunbury Outer Ring Road

The Bunbury Outer Ring Road Primary Regional Roads Reserve shall be realigned in accordance with the Minister for the Environment's determination of appeals relating to the Environmental Protection Authority's report and recommendations on the Scheme, dated 30 November 2004.



Attachment Three

Bushfire Attack Levels



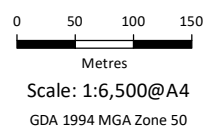
Please Note: This BAL contour plan has been prepared to detail the bushfire risk posed by vegetation within 150 m of the site only, in accordance with the Guidelines and AS 3959. Any landholdings outside of the site should be assessed separately to inform development.

	Site boundary
	150 m assessment boundary
	Cadastral boundary
	Proposed development layout
Bushfire Attack Level	
	BAL - FZ
	BAL - 40
	BAL - 29
	BAL - 19
	BAL - 12.5
	BAL - LOW

Figure 6: Bushfire Attack Level Contours

Project: Bushfire Management Plan
Local Structure Plan, Lots 103, 110 and 603, Picton East
Client: Harris Road Pty Ltd

Plan Number: EP12-039(02)--F19
Drawn: KNM
Date: 07/11/2019
Checked: HPB
Approved: KK
Date: 08/11/2019



While Emerge Associates makes every attempt to ensure the accuracy and completeness of data, Emerge accepts no responsibility for externally sourced data used



Attachment Four

Architectural Drawings

GENERAL

- G001 DRAWING LIST
- G002 SCHEDULE FINISHES

ARCHITECTURAL

- | | | |
|-------------------------|-----------------------------------|-------------------------------------|
| A101 PLAN SITE EXISTING | A201 ELEVATION BUILDING SHEET 1 | A205 ELEVATION CANOPY TRUCK SHEET 1 |
| A102 PLAN SITE PROPOSED | A202 ELEVATION BUILDING SHEET 2 | A206 ELEVATION CANOPY TRUCK SHEET 2 |
| A103 PLAN BUILDING | A203 ELEVATION CANOPY CAR SHEET 1 | |
| A104 PLAN CANOPY CAR | A204 ELEVATION CANOPY CAR SHEET 2 | |
| A105 PLAN CANOPY TRUCK | | |

TRAFFIC

- T101 PLAN SITE SWEPT PATHS

LANDSCAPING

- L101 PLAN SITE LANDSCAPING

SIGNAGE

- S101 PLAN SITE SIGNAGE
- S201 ELEVATION SIGNAGE

DEVELOPMENT
NOT FOR CONSTRUCTION

PROJECT

EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST

1920-014

SHEET

DRAWING LIST

REV. DESCRIPTION

A Development Application

26.08.19

EXTERIOR FINISHES SCHEDULE

NO	DESCRIPTION	LOCATION	MANUFACTURER	CODE	COLOUR	NOTES
TIMBER LOOK CLADDING						
DW1	Decowood Aluminium Column	Front of Building	Decorative Imaging	Decowood Aluminium	Natural American Oak	150x150mm Aluminium extrusion with base bracket and colour matching end caps
DW2	Decowood Aluminium Cladding	Awning Fascia	Decorative Imaging	Decowood Aluminium	Natural American Oak	Cladding to fascia
DW3	Decowood Aluminium Battens	Fascia	Decorative Imaging	Decobatten	Natural American Oak	50x50mm with matching end caps
ALUMINIUM COMPOSITE CLADDING						
AB1	<i>Superseded</i>					
AB2	ACM	Signage / Fascia	Signage Contractor	326 Black	Black	
AB3	<i>Superseded</i>					
POWDERCOATING						
PC1	Black Powdercoat	Window Framing	Dulux	Duralloy - 19268	Black Satin	
TILE						
BR1	External Brick Facing Tile	Wall	Robertson's Building Products		Rustic Red & Rustic Apricot	50/50 Blend
T10	Mosaic Tiles	Wall	Royal Tiles	Matt Mosaic	White	45 x 75mm. Laid horizontally. Grout - Laticrete #88 Silver Shadow
MISCELLANEOUS						
AW1	Drop Awning	Between Front of Building Columns	Luxaflex	Alpha Straight Drop Awning	Black & White Stripes	Dickson C022 Black/White
PA1	<i>Superseded by PT8</i>					
PA2	Steel Sheet Cladding	Soffit Lining	Bluescope Lysaght	Easyclad 2PF 300	Powdercoat Paperbark Satin	
PT1	Sealed Off Shutter Concrete Wall	Front Concrete Wall - Below DW3 Fascia	Aftek	Fairing Coat Mortar	Natural	
PT2	Paint	Rear Wall & Concrete Fascia Behind DW3	Dulux		Black Acrylic	Exterior grade - Low Sheen, Low VOC
PT8	Paint	Front & Return Corner Concrete Walls	Dulux		Black	Low Sheen Weathershield with Anti-graffiti clear
PT9	Paint	Side Concrete Wall	Dulux	SN4G3	Endless Dusk	Low Sheen Weathershield. If panels require painting
PT10	Wall Cladding	Retrofit Building - Front & Return Corner	James Hardie	Scyon Axom 400mm - 404419	PT8 Top coat paint	Pre-primed exterior cladding. Elevation not to exceed 3m height. Sheet Size 3000x1200mm

DEVELOPMENT
NOT FOR CONSTRUCTION

PROJECT

EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST

1920-014

SHEET

SCHEDULE FINISHES

REV. DESCRIPTION

A Development Application

26.08.19

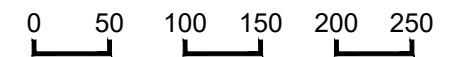


MARTIN PELUSEY ROAD

LINE OF ROAD RESUMPTION,
REFER MRWA 201902-0080

PROPOSED DEVELOPMENT
AREA

DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED
IN WHOLE OR PART WITHOUT WRITTEN
CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

PROJECT

EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST

1920-014

SHEET

PLAN
SITE
EXISTING (SURVEY)

REV. DESCRIPTION

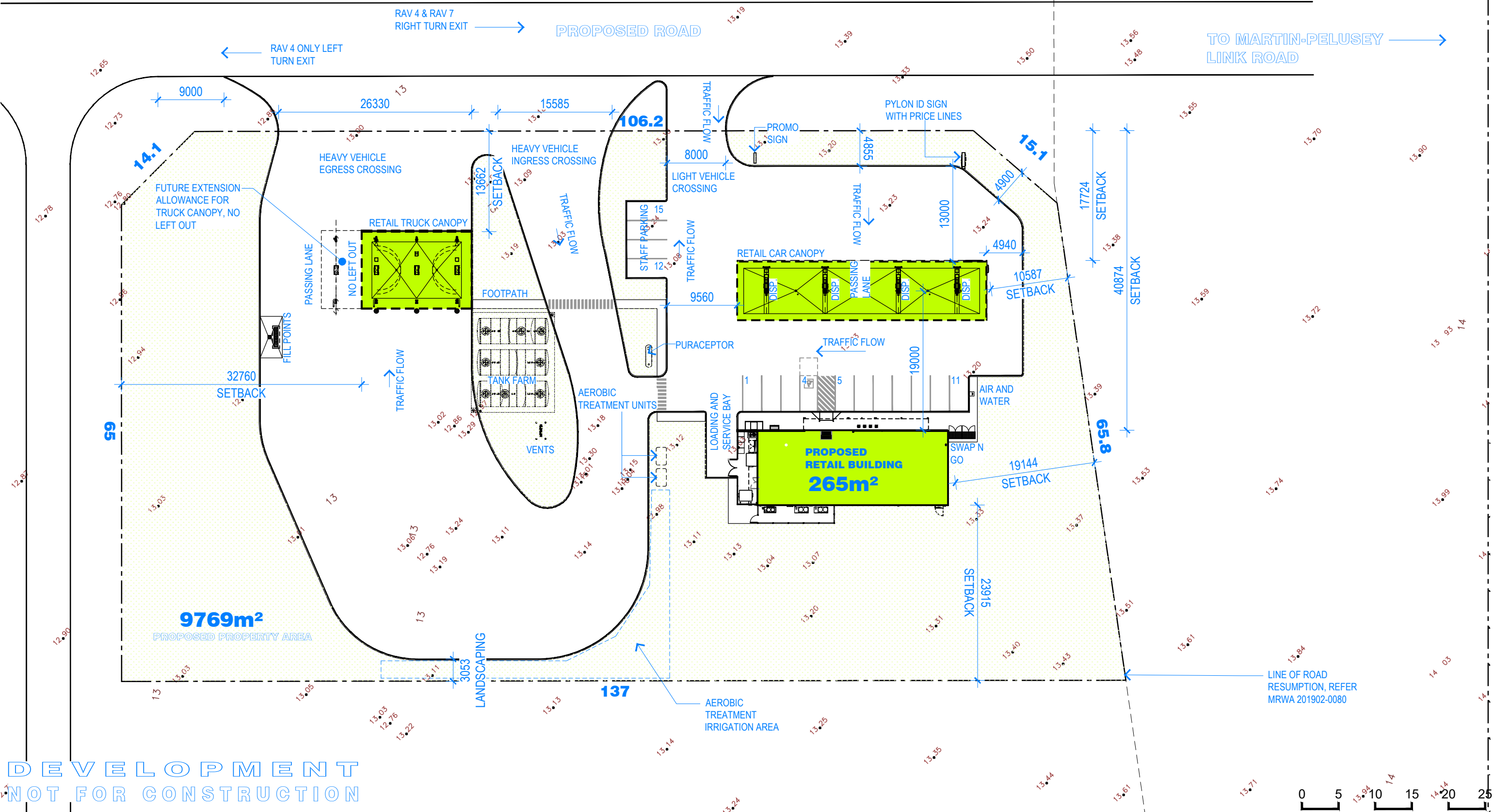
A Development Application

27.08.19

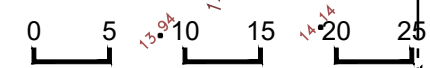
A101

1:5000

A



DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

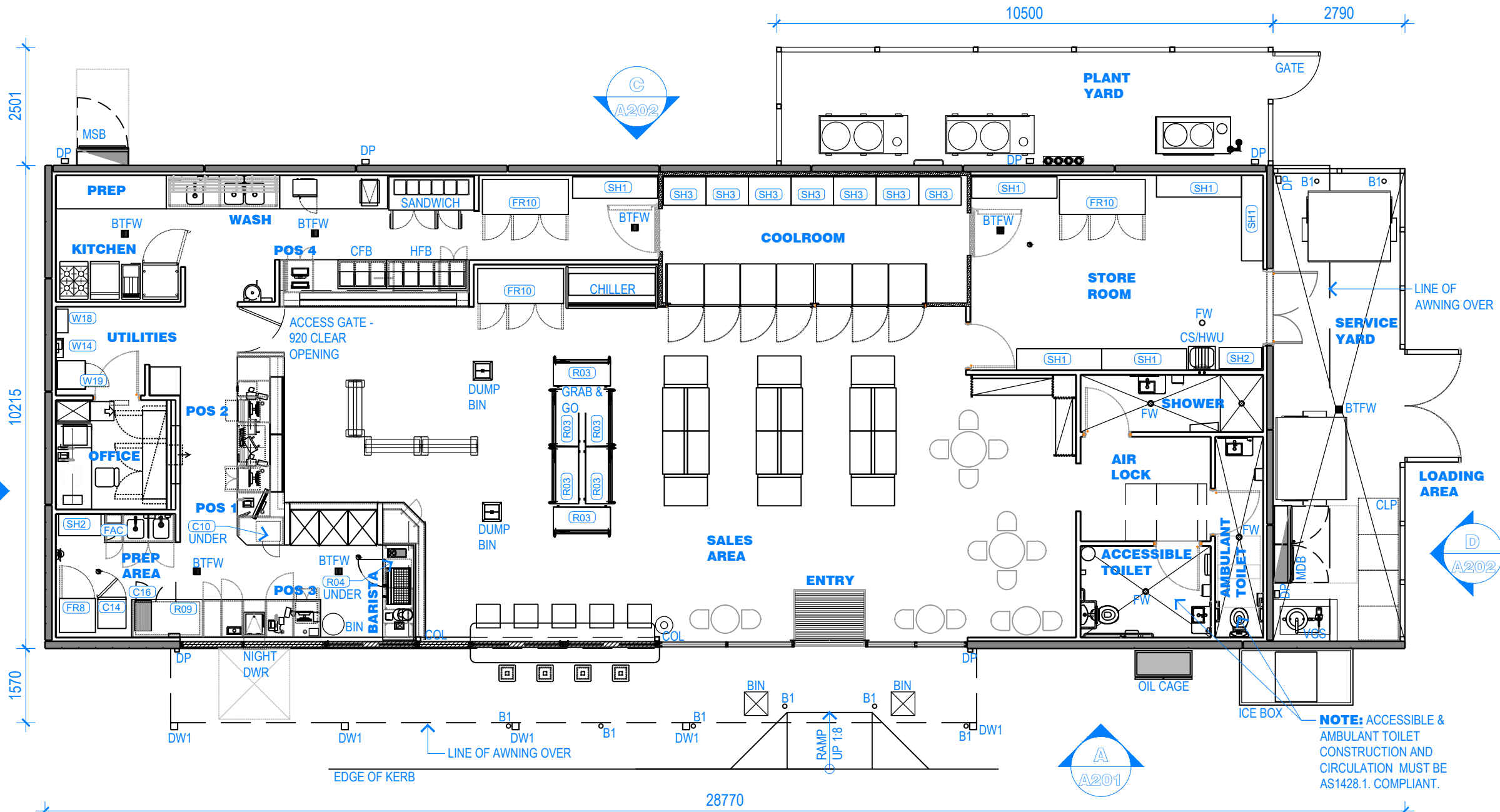
PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014

SHEET
PLAN
SITE
PROPOSED

REV.	DESCRIPTION	DATE
A	Development Application	28.08.19
B	Carriageway increased to 10m, truck crossing and canopy moved east 4m	05.12.19

A102

1:500 | **B**



- LEGEND**
- AC/1 AIR CONDITIONING CONDENSOR UNIT
 - ATG AUTOMATIC TANK GAUGING
 - ATM AUTOMATIC TELLER MACHINE
 - AU AMBIENT DISPLAY
 - B1 BOLLARD
 - BF BAR FRIDGE
 - BTFW BUCKET TRAP FLOOR WASTE
 - BU BUNDY CLOCK
 - CCTV CLOSED CIRCUIT TV SECURITY
 - CLP STACKABLE DELIVERY TROLLEYS
 - COL METAL COLUMN TO STRUCTURAL ENGINEERS DETAIL
 - CS CLEANER'S SINK
 - DMP INTERNAL BIN UNIT
 - DP DOWNPIPE
 - DW1 150x150mm ALUMINIUM NON-STRUCTURAL COLUMN WITH BOLLARD INSET
 - EDR EMERGENCY AUTO DOOR RELEASE BUTTON ON COLUMN
 - FC FILING CABINET
 - FCB FROZEN CARBONATED BEVERAGE
 - FE FIRE EXTINGUISHER
 - FW FLOOR WASTE
 - HU HEATED DISPLAY
 - HWU HOT WATER UNIT
 - L LOCKERS
 - MDF TELSTRA
 - MIMIC MIMIC PANEL
 - MDB MAIN DISTRIBUTION BOARD
 - MSB MAIN SWITCHBOARD
 - PH3 PHONE
 - POD DISPLAY UNIT
 - R POS REGISTER
 - RB RUBBISH BIN
 - RU REFRIGERATED DISPLAY
 - SB SERVICE YARD BOLLARDS
 - SFW SEALED FLOOR WASTE
 - SH1 1800x450 SHELVE UNIT
 - SH2 900x450 SHELVE UNIT
 - SH3 900x600 SHELVE UNIT
 - TD TUNDISH
 - UPS UNINTERRUPTED POWER SUPPLY
 - VP VENT PIPE
 - VGS VERTICAL GREASE SEPERATOR
 - WB DUMPSTER BIN
 - WHB WASH HAND BASIN
- REFER TO EQUIPMENT SCHEDULE

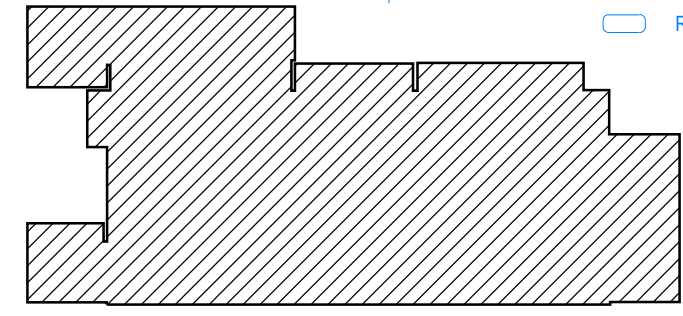
NOTES : CONSTRUCTION

C.01 PROVIDE ADDITIONAL BLOCKING / FRAMING WITHIN WALLS AS NECESSARY TO SUPPORT FIXTURES.

C.02 REFER TO DRAWING A202 FOR FITTINGS, FIXTURE AND EQUIPMENT SCHEDULES.

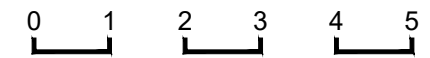
- WALL LEGEND**
- CONCRETE PANEL WALLS PLUS 76mm METAL STUD FRAME AND 10mm GYPROCK LINING.
 - INTERNAL METAL STUD FRAMED WALL WITH 10mm GYPROCK LINING ON ALL EXPOSED SURFACES
 - COOLROOM & FREEZER PANELLING, REFER TO REFRIGERATION DRAWINGS.
 - GLAZED SHOPFRONT

- LEGEND - EQUIPMENT**
- (C14) MIWE OVEN
 - (C16) MERRYCHEF
 - (C17) DISHWASHER
 - (FAC) FIRST AID CABINET
 - (FR8) UPRIGHT FREEZER
 - (R09) UNDERCOUNTER FRIDGE
 - (SH1) SHELF
 - (SH2) SHELF
 - (W14) DOMS
 - (W18) ATG
 - (W19) DATA RACK
 - (W20) LOCKER
 - (R03) SKOPE GRAB AND GO UNITS
 - (FR2) UPRIGHT FREEZER
 - (R02) WALL CHILLER
 - (R04) BARISTA MILK FRIDGE
 - (C10) MICROWAVE



TOTAL SALES ROOM AREA : 171m²
BUILDING G.F.A. : 265m²
(EXCLUDES SERVICE & PLANT YARDS)

DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
 DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

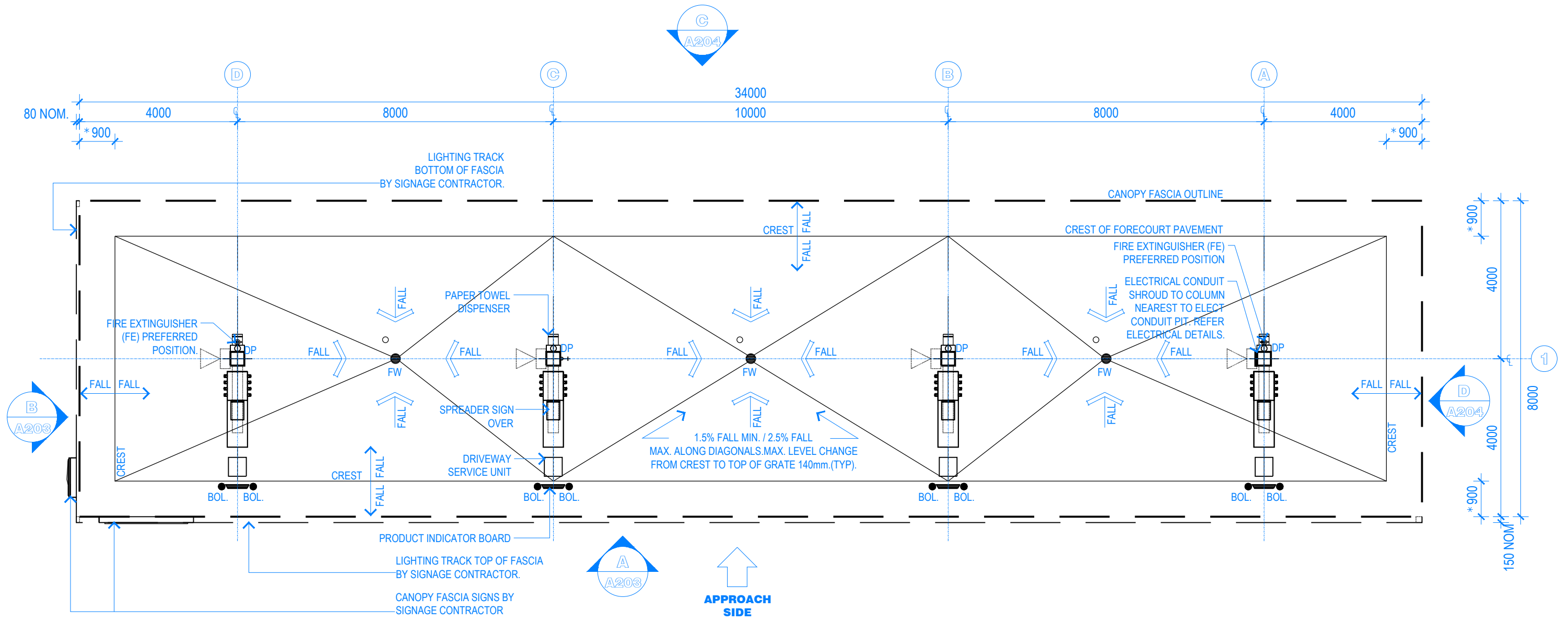
PROJECT
 EASTCOURT PROPERTY GROUP
 PICTON FUEL STATION
 LOT 603 MARTIN PELUSEY ROAD
 PICTON EAST
 1920-014

SHEET
 PLAN
 BUILDING

REV. DESCRIPTION
 A Development Application

28.07.19

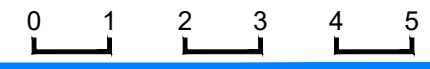
A103
 1:100 | **A**



- KEY**
- DP DOWNPIPE.
 - FW FLOOR WASTE
 - BOL METAL BOLLARD 165Ø x 1200mm HIGH (TYPICAL)
 - SPEAKER
 - FALL IN FORECOURT PAVING
 - DISPENSER WITH SPREADER SIGN OVER
 - WATER POINT

- NOTE : CONSTRUCTION**
- C.01 2 FIRE EXTINGUISHERS REQUIRED BY AS1940-PLACE ON COLUMNS EACH SIDE OF CANOPY FACING SALESROOM.
 - C.02 ADDITIONAL FIRE EXTINGUISHERS MAY BE REQUIRED TO SUIT SITE SPECIFIC CONDITIONS.
 - C.03 PUMP POSITION AND SPREADER SIZE TO BE CONFIRMED ON SITE TO SUIT CANOPY COLUMN SIZE.
 - C.04 FOR FLOOR WASTE / FORECOURT DRAINAGE, DOWNPIPE AND CANOPY BOX GUTTER DETAILS, REFER TO THE HYDRAULIC ENGINEERS DOCUMENTATION.

DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014







SHEET
PLAN
CANOPY
CAR

REV. DESCRIPTION
A Development Application

27.08.19

A104
1:100 | **A**

KEY

- DP DOWNPIPE.
- FW FLOOR WASTE
- BOL CONCRETE BOLLARD
600Ø x 1400mm HIGH (TYPICAL)
- COL COLUMN
-  SPEAKER
-  FALL IN FORECOURT PAVING
-  3 HOSE INTEGRATED DIESEL & AdBlue DISPENSER (GALLAGHER)
-  6 HOSE INTEGRATED DIESEL & AdBlue DISPENSER (GALLAGHER)
-  ISLAND CARD READER
-  WATER POINT

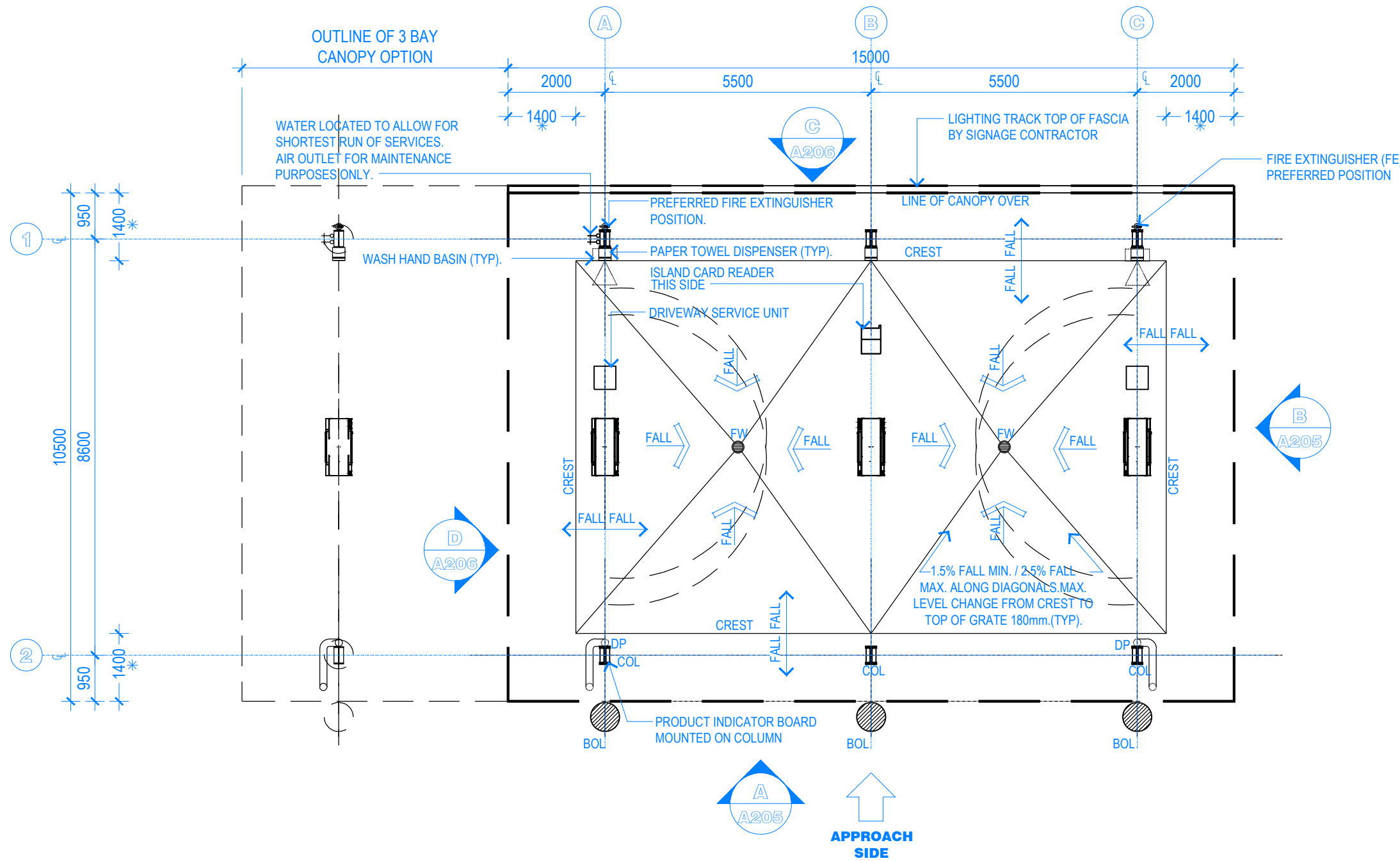
PUMP TYPE	FLOW RATE
HF - HIGH FLOW	Nom. 80 l/m
UHF - ULTRA HIGH FLOW	Nom. 120 l/m
DEF - DIESEL EXHAUST FLUID	Nom. 30 l/m

NOTE : CONSTRUCTION

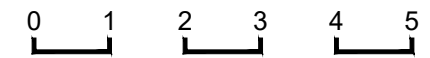
- C.01 2 FIRE EXTINGUISHERS REQUIRED BY AS1940-PLACE ON COLUMNS EACH SIDE OF CANOPY FACING SALESROOM.
- C.02 ADDITIONAL FIRE EXTINGUISHERS MAY BE REQUIRED TO SUIT SITE SPECIFIC CONDITIONS.
- C.03 PUMP POSITION AND SPREADER SIZE TO BE CONFIRMED ON SITE TO SUIT CANOPY COLUMN SIZE.
- C.04 FOR FLOOR WASTE / FORECOURT DRAINAGE, DOWNPIPE AND CANOPY BOX GUTTER DETAILS, REFER TO THE HYDRAULIC ENGINEERS DOCUMENTATION.

NOTE

* DIMENSION= 25% OF VERTICAL HEIGHT FROM TOP OF CONTAINMENT CREST TO DRIP LINE OF ROOF/VERTICAL FASCIA FACE (DO NOT INCLUDE ANGLED FASCIA) OR AS REQUIRED BY OTHER LOCAL WATER AUTHORITIES.



DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

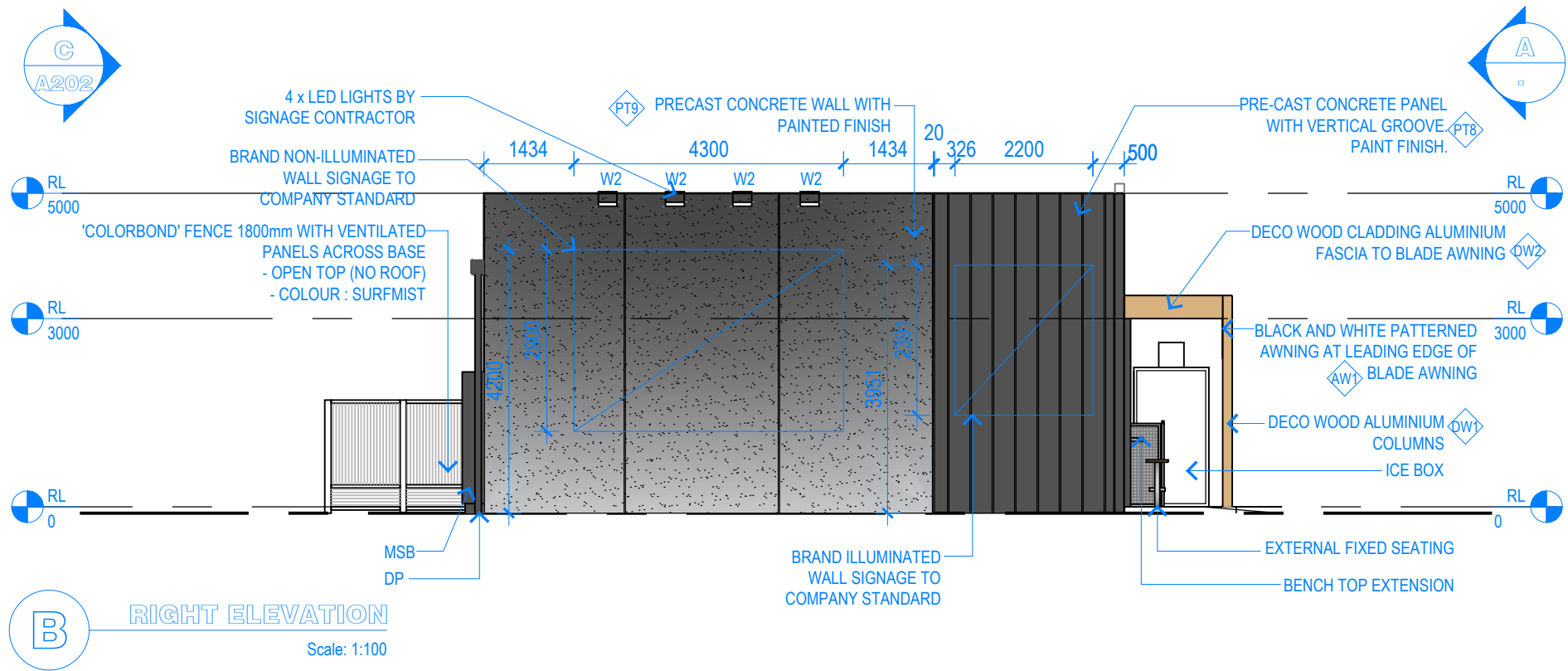
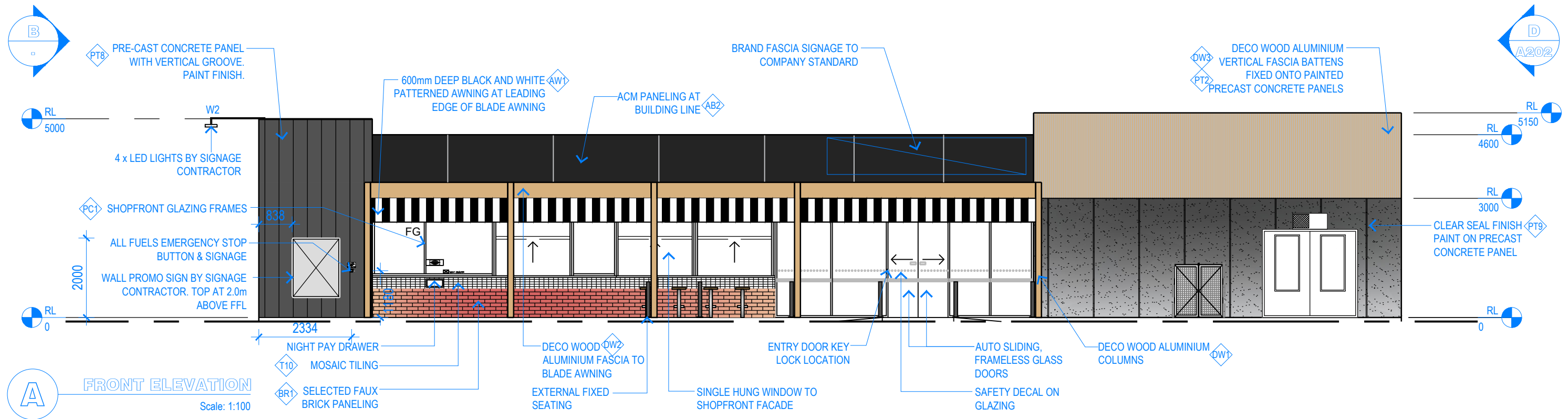
PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014

SHEET
PLAN
CANOPY
TRUCK

REV. DESCRIPTION
A Development Application

27.08.19

A105
1:100 | **A**



NOTES: CONSTRUCTION

C.01 PROVIDE POWER & SUPPORT FRAMING BEHIND ALL ILLUMINATED SIGNS AS NECESSARY.
 C.02 PROVIDE INDIVIDUAL POWER SUPPLY POINTS BEHIND 'FOODARY' LETTERS.

KEY: GENERAL

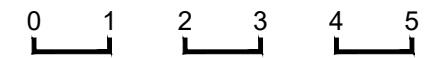
RL 5000 HEIGHT IN MILLIMETERS IN RELATION TO DATUM LEVEL 0.00 - SLAB LEVEL OF SALES AREA
 PT9 FINISHES REFERENCE SYMBOL

AVF ANTI-VANDAL FILM
 B1 BOLLARD
 DP DOWN PIPE
 FG FIXED GLASS
 SG SLIDING GLASS

NOTES:

REFER TO DRAWING G002 FOR EXTERIOR FINISHES SCHEDULES.

DEVELOPMENT
 NOT FOR CONSTRUCTION



project consultants
 DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

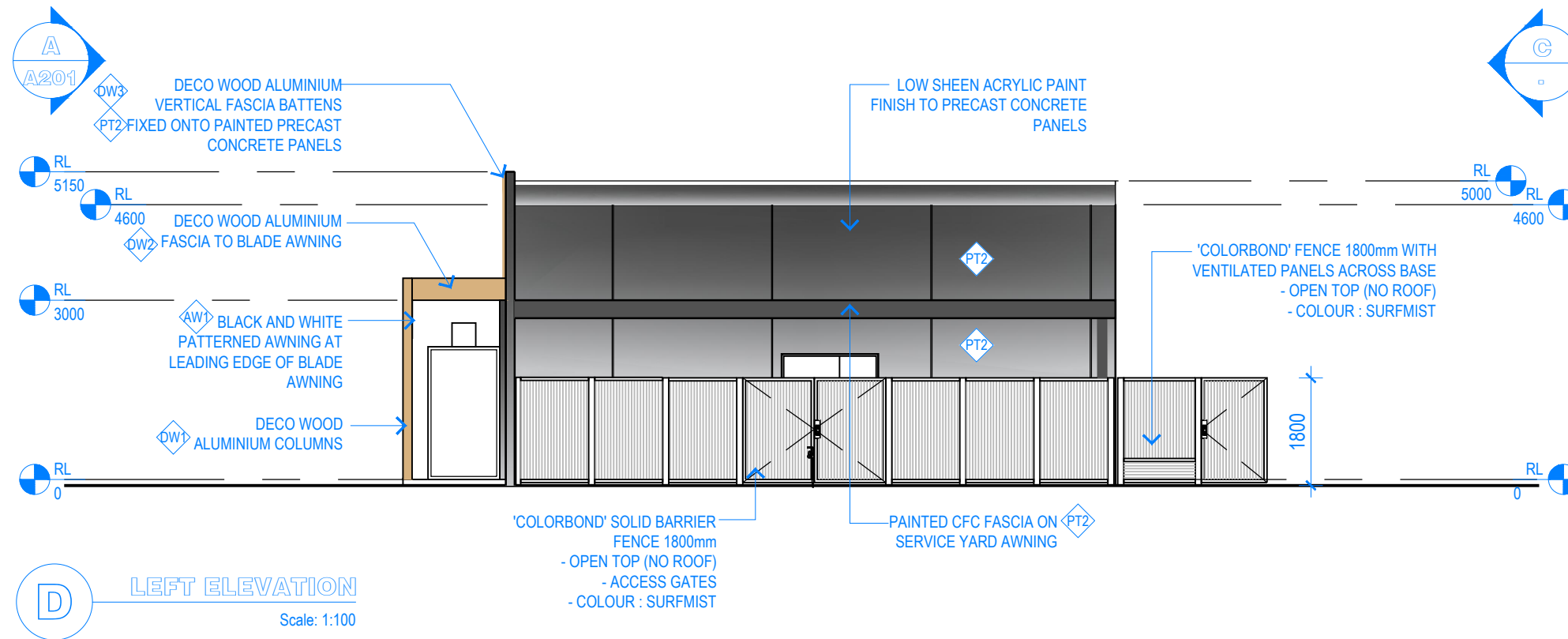
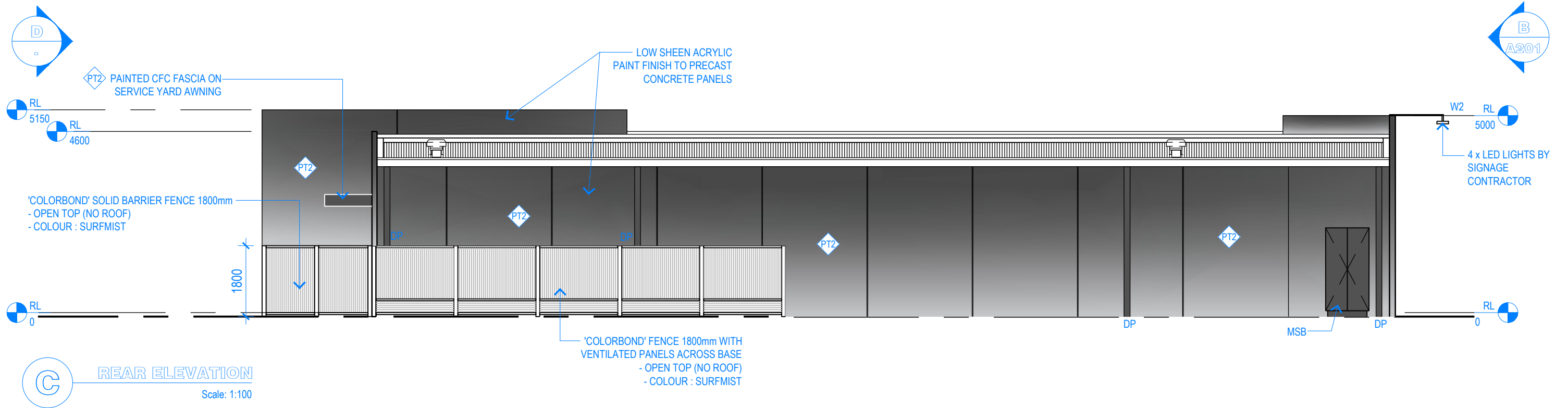
PROJECT
 EASTCOURT PROPERTY GROUP
 PICTON FUEL STATION
 LOT 603 MARTIN PELUSEY ROAD
 PICTON EAST
 1920-014

SHEET
 ELEVATION
 BUILDING
 SHEET 1

REV. DESCRIPTION
 A Development Application

27.08.19

A201
 1:100 | A



NOTES: CONSTRUCTION

- C.01 PROVIDE POWER & SUPPORT FRAMING BEHIND ALL ILLUMINATED SIGNS AS NECESSARY.
- C.02 PROVIDE INDIVIDUAL POWER SUPPLY POINTS BEHIND 'FOODARY' LETTERS.

KEY: GENERAL

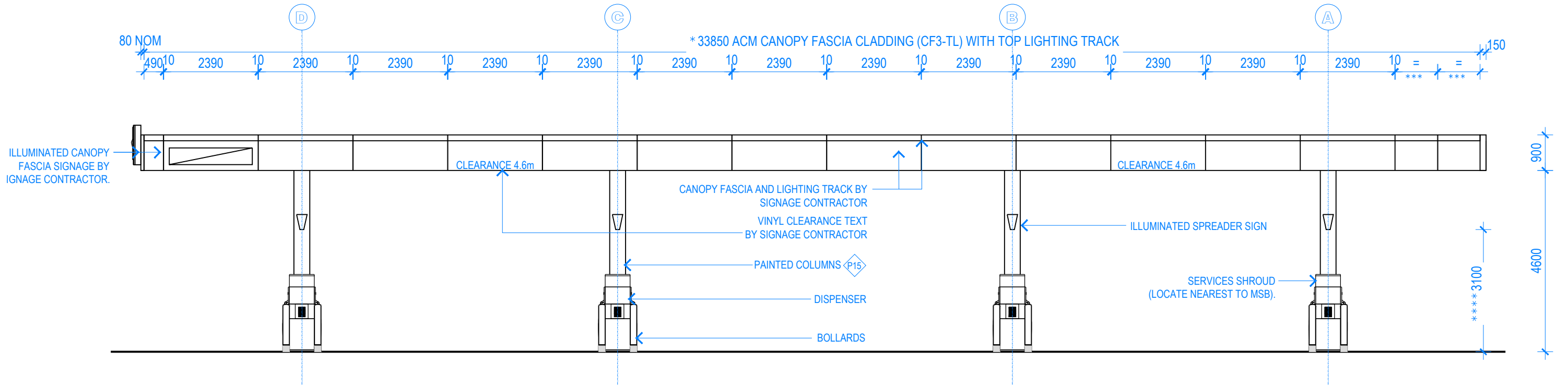
- HEIGHT IN MILLIMETERS IN RELATION TO DATUM LEVEL 0.00 - SLAB LEVEL OF SALES AREA
- FINISHES REFERENCE SYMBOL
- AVF ANTI-VANDAL FILM
- B1 BOLLARD
- DP DOWN PIPE
- FG FIXED GLASS
- SG SLIDING GLASS

NOTES:

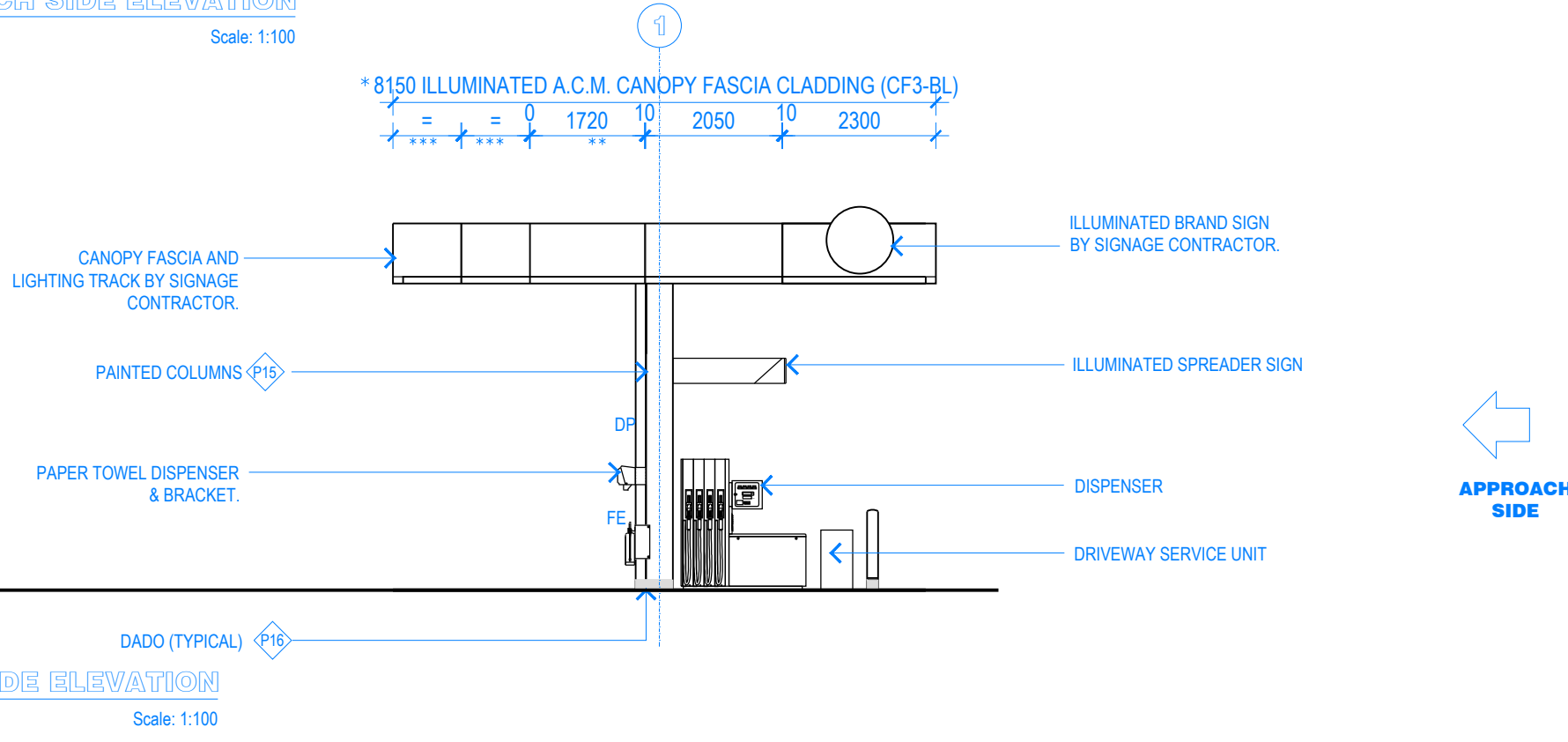
REFER TO DRAWING G002 FOR EXTERIOR FINISHES SCHEDULES.

DEVELOPMENT
NOT FOR CONSTRUCTION





A APPROACH SIDE ELEVATION
Scale: 1:100



B SIDE ELEVATION
Scale: 1:100

GUIDANCE NOTES

* THE EAVES OVERHANG DIMENSIONS SHOWN ARE INDICATIVE ONLY AND ARE BASED ON AN APPROXIMATE 10° LINE OFF VERTICAL FROM CANOPY EDGE TO CREST OF FORECOURT. SITE SPECIFIC REQUIREMENTS FOR DRAINAGE/OVERHANGS SHALL BE DETERMINED BY THE CIVIL ENGINEER AND DIMENSIONS ADJUSTED ACCORDINGLY

** MAKE UP PANEL

*** IF END PANEL IS LESS THAN HALF OF 2390mm THEN DIVIDE EQUALLY THE TWO END PANELS.

**** CRITICAL OH&S DIMENSION

NOTE : CONSTRUCTION

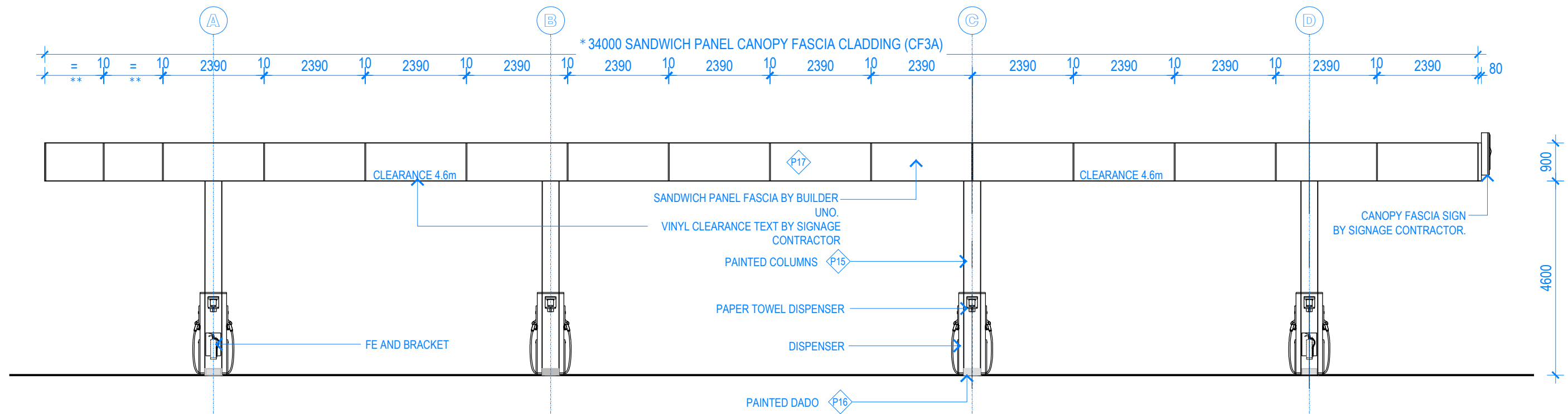
C.01 PRODUCT INDICATOR BOARDS NOT SHOWN FOR DRAWING CLARITY.

NOTE : FINISHES

CANOPY FINISHES WILL BE DEPENDENT ON COMPANY BRANDING

DEVELOPMENT
NOT FOR CONSTRUCTION





C SHOP SIDE ELEVATION
Scale: 1:100

NOTE : FINISHES

CANOPY FINISHES WILL BE DEPENDENT ON COMPANY BRANDING

CANOPY - FINISHES SCHEDULE

KEY	MATERIAL	MANUFACTURER	REF. NO.	FINISH	COLOUR
ACM FASCIA	ALUMINIUM COMPOSITE SHEET	SIGNAGE SUPPLIER	CF3 - TL	SATIN	RED
SANDWICH PANEL TOP FLASHING	STEEL	BLUESCOPE LYSAGHT	-	DULUX PAINT FINISH - SATIN	DULUX CANOPY RED
ROOF	STEEL	BLUESCOPE LYSAGHT	KLIPOK 700 HI-STRENGTH 0.48 BMT	'COLORBOND' SATIN	SURFMIST
SOFFIT LINING AND TRIM	STEEL	BLUESCOPE LYSAGHT	EASYCLAD 2PF 300	'COLORBOND' SATIN	SURFMIST
BOLLARDS	METAL	LEDA	HIG150RCAL + FULL STOP RING	VARIOUS	VARIOUS

KEY	ITEM/SUBGRADE	COLOUR/CODE	SPECIFICATION
P15	CANOPY - METAL COLUMNS - METAL BOLLARDS	SPIDERS WEB DULUX 84645 (DELTA LIGHT GREY)	AU_SD08562 DULUX SUPER ENAMEL HIGH GLOSS ON NEW ZINC COATED STEEL / GALVANISED STEEL (COMMERCIAL) [EXTERIOR / COASTAL] 1ST COAT AUDD0156 DULUX PROFESSIONAL GALVANISED IRON PRIMER 2ND COAT AUDD0026 SUPER ENAMEL HIGH GLOSS 3RD COAT AUDD0026 SUPER ENAMEL HIGH GLOSS
P16	CANOPY - METAL COLUMNS (DADO)	DULUX84599 MEDIUM GREY	AU_SD08562 DULUX SUPER ENAMEL HIGH GLOSS ON NEW ZINC COATED STEEL / GALVANISED STEEL (COMMERCIAL) [EXTERIOR / COASTAL] 1ST COAT AUDD0156 DULUX PROFESSIONAL GALVANISED IRON PRIMER 2ND COAT AUDD0026 SUPER ENAMEL HIGH GLOSS 3RD COAT AUDD0026 SUPER ENAMEL HIGH GLOSS
P17	CANOPY - INSULATED ALUMINIUM SANDWICH PANEL	DULUX CANOPY RED - A4010	AUS13768 DULUX WEATHERSHIELD GLOSS ON PREVIOUSL POWDER COATED ALUMINIUM (EXTERIOR) 1ST COAT AUD10540 DULUX LUXEPOXY 4 WHITE PRIMER TWO PACK PRIMER 2ND COAT AUDD0054 DULUX WEATHERSHIELD GLOSS 3RD COAT AUDD0054 DULUX WEATHERSHIELD GLOSS

GUIDANCE NOTES

* THE EAVES OVERHANG DIMENSIONS SHOWN ARE INDICATIVE ONLY AND ARE BASED ON AN APPROXIMATE 10° LINE OFF VERTICAL FROM CANOPY EDGE TO CREST OF FORECOURT. SITE SPECIFIC REQUIREMENTS FOR DRAINAGE/OVERHANGS SHALL BE DETERMINED BY THE CIVIL ENGINEER AND DIMENSIONS ADJUSTED ACCORDINGLY

** MAKE UP PANEL

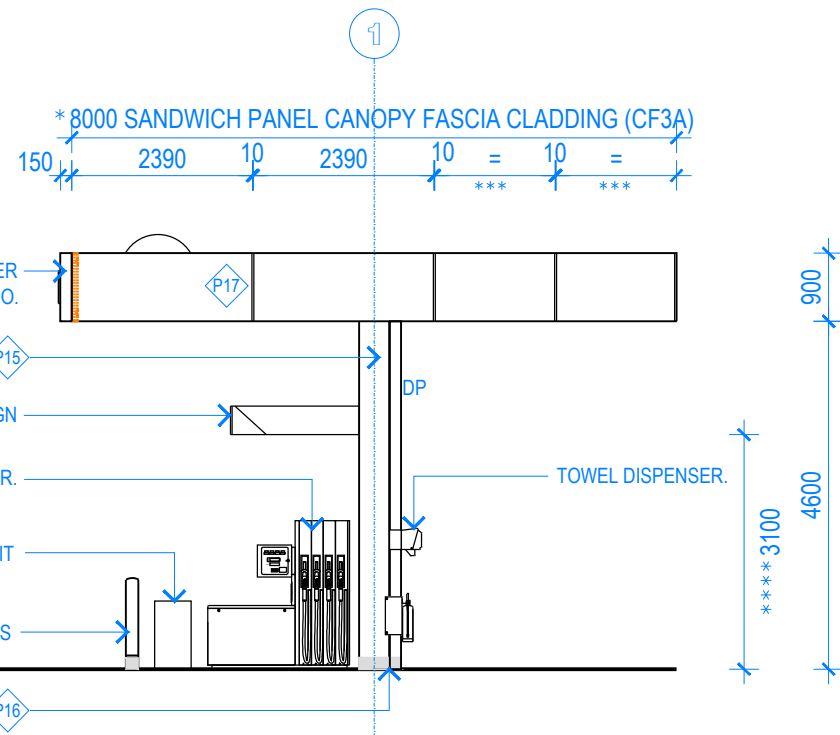
*** IF END PANEL IS LESS THAN HALF OF 2390mm THEN DIVIDE EQUALLY THE TWO END PANELS.

**** CRITICAL OH&S DIMENSION

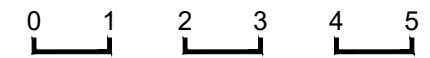
NOTE : CONSTRUCTION

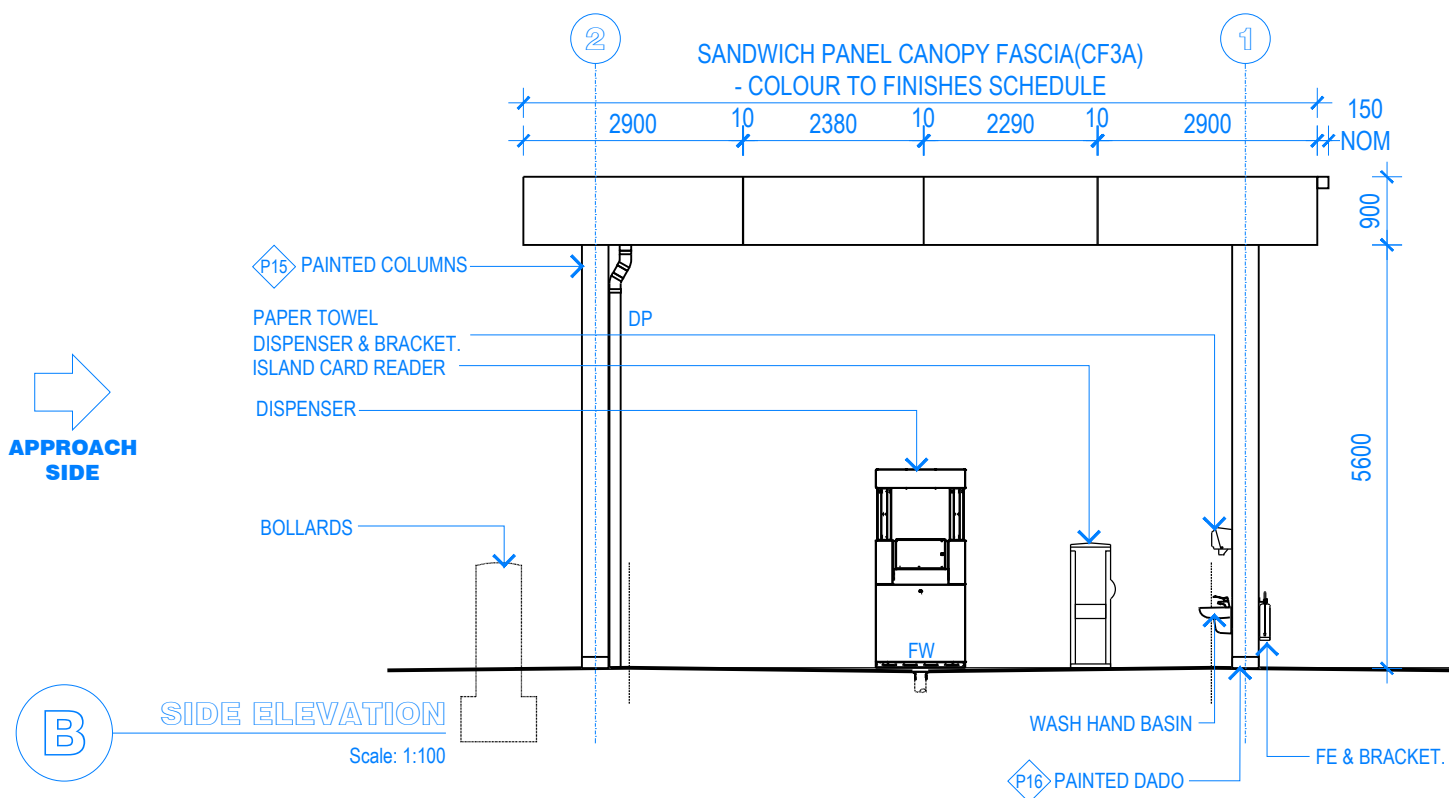
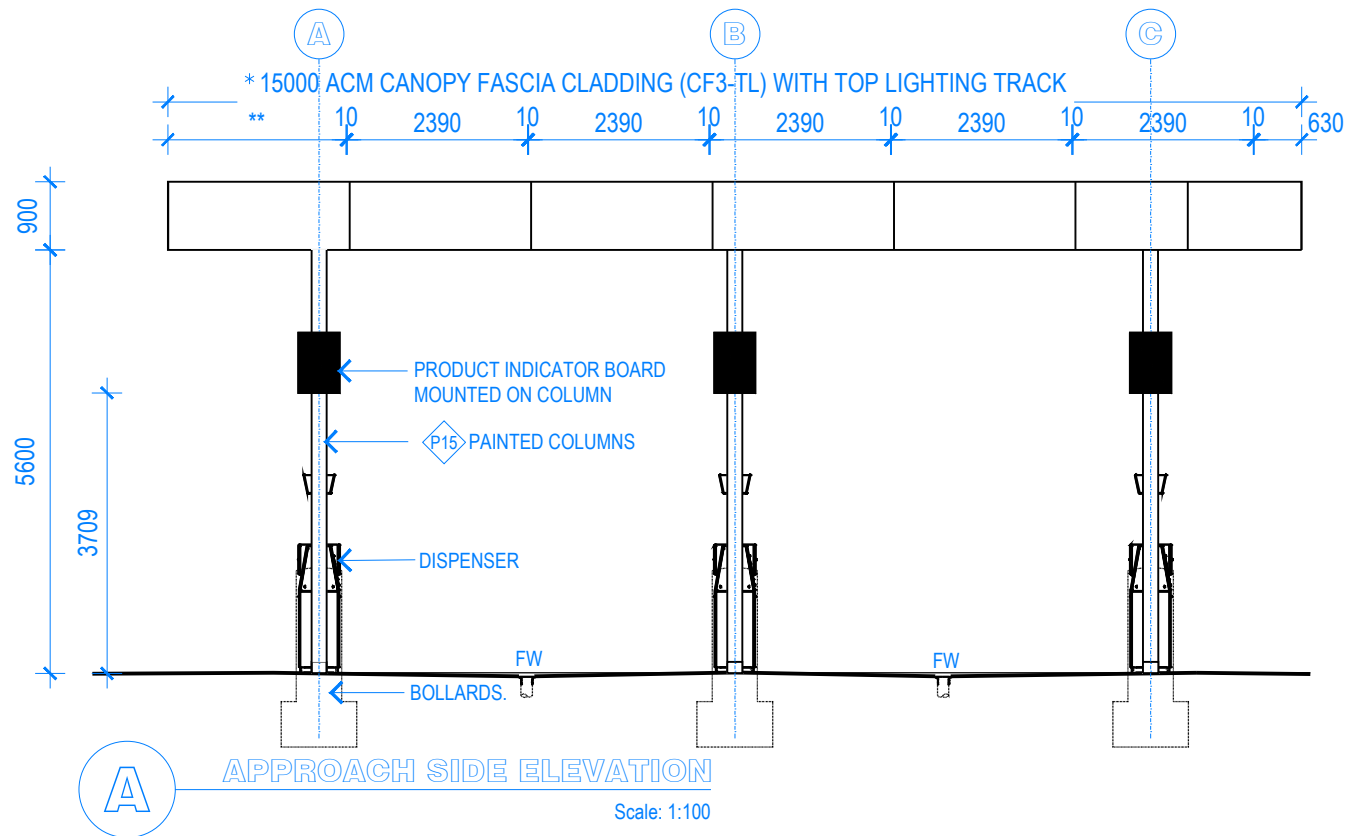
C.01 PRODUCT INDICATOR BOARDS NOT SHOWN FOR DRAWING CLARITY.

DEVELOPMENT
NOT FOR CONSTRUCTION



D SIDE ELEVATION
Scale: 1:100





GUIDANCE NOTES

* THE EAVES OVERHANG DIMENSIONS SHOWN ARE INDICATIVE ONLY AND ARE BASED ON AN APPROXIMATE 10° LINE OFF VERTICAL FROM CANOPY EDGE TO CREST OF FORECOURT. SITE SPECIFIC REQUIREMENTS FOR DRAINAGE/OVERHANGS SHALL BE DETERMINED BY THE CIVIL ENGINEER AND DIMENSIONS ADJUSTED ACCORDINGLY

** MAKE UP PANEL

*** IF END PANEL IS LESS THAN HALF OF 2390mm THEN DIVIDE EQUALLY THE TWO END PANELS.

**** CRITICAL OH&S DIMENSION

NOTE : CONSTRUCTION

C.01 PRODUCT INDICATOR BOARDS NOT SHOWN FOR DRAWING CLARITY.

NOTE : FINISHES

CANOPY FINISHES WILL BE DEPENDENT ON COMPANY BRANDING

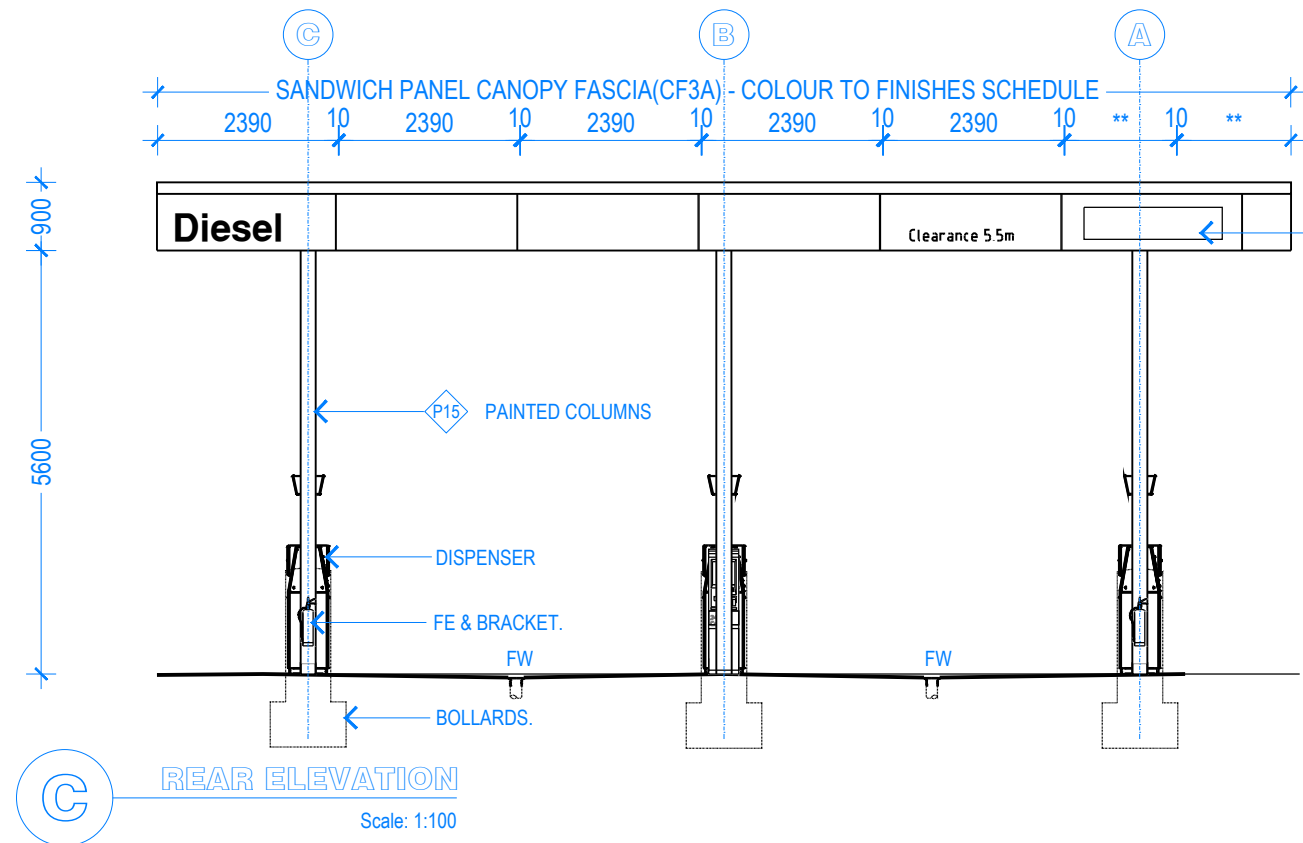
CANOPY - FINISHES SCHEDULE

KEY	MATERIAL	MANUFACTURER	REF. NO.	FINISH	COLOUR
ACM FASCIA	ALUMINIUM COMPOSITE SHEET	SIGNAGE SUPPLIER	CF3 - TL	SATIN	RED
SANDWICH PANEL TOP FLASHING	STEEL	BLUESCOPE LYSAGHT	-	DULUX PAINT FINISH - SATIN	DULUX CANOPY RED
ROOF	STEEL	BLUESCOPE LYSAGHT	KLIPOK 700 HI-STRENGTH 0.48 BMT	'COLORBOND' SATIN	SURFMIST
SOFFIT LINING AND TRIM	STEEL	BLUESCOPE LYSAGHT	EASYCLAD 2PF 300	'COLORBOND' SATIN	SURFMIST
BOLLARDS	METAL	LEDA	HIG150RCAL + FULL STOP RING	VARIOUS	VARIOUS

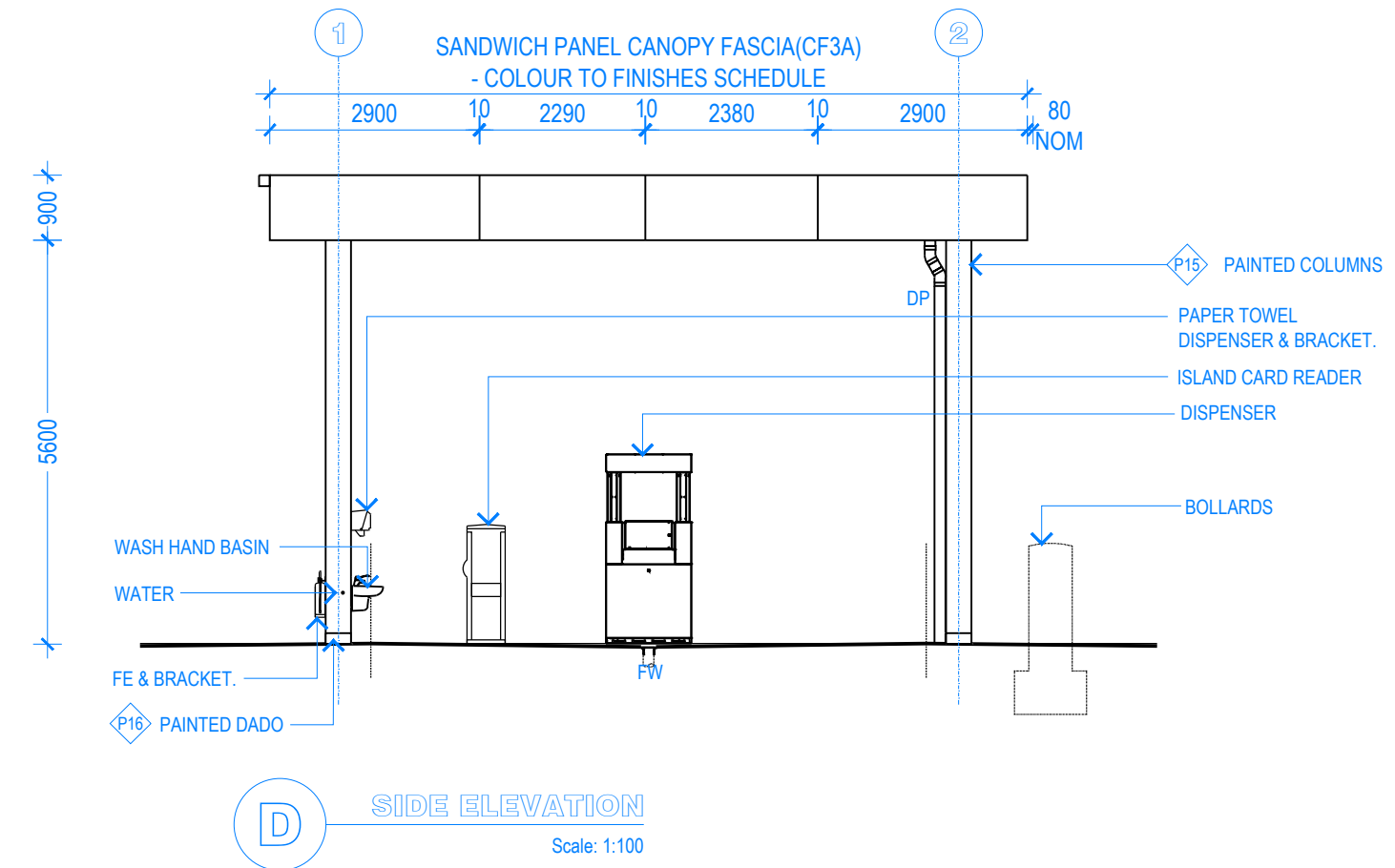
KEY	ITEM/SUBGRADE	COLOUR/CODE	SPECIFICATION
P15	CANOPY - METAL COLUMNS - METAL BOLLARDS	SPIDERS WEB DULUX 84645 (DELTA LIGHT GREY)	AU_SD08562 DULUX SUPER ENAMEL HIGH GLOSS ON NEW ZINC COATED STEEL / GALVANISED STEEL (COMMERCIAL) [EXTERIOR / COASTAL] 1ST COAT AUDD0156 DULUX PROFESSIONAL GALVANISED IRON PRIMER 2ND COAT AUDD0026 SUPER ENAMEL HIGH GLOSS 3RD COAT AUDD0026 SUPER ENAMEL HIGH GLOSS
P16	CANOPY - METAL COLUMNS (DADO)	DULUX84599 MEDIUM GREY	AU_SD08562 DULUX SUPER ENAMEL HIGH GLOSS ON NEW ZINC COATED STEEL / GALVANISED STEEL (COMMERCIAL) [EXTERIOR / COASTAL] 1ST COAT AUDD0156 DULUX PROFESSIONAL GALVANISED IRON PRIMER 2ND COAT AUDD0026 SUPER ENAMEL HIGH GLOSS 3RD COAT AUDD0026 SUPER ENAMEL HIGH GLOSS
P17	CANOPY - INSULATED ALUMINIUM SANDWICH PANEL	DULUX CANOPY RED - A4010	AUS13768 DULUX WEATHERSHIELD GLOSS ON PREVIOUSL POWDER COATED ALUMINIUM (EXTERIOR) 1ST COAT AUD10540 DULUX LUXEPOXY 4 WHITE PRIMER TWO PACK PRIMER 2ND COAT AUDD0054 DULUX WEATHERSHIELD GLOSS 3RD COAT AUDD0054 DULUX WEATHERSHIELD GLOSS

DEVELOPMENT NOT FOR CONSTRUCTION





C REAR ELEVATION
Scale: 1:100



D SIDE ELEVATION
Scale: 1:100

GUIDANCE NOTES

- * THE EAVES OVERHANG DIMENSIONS SHOWN ARE INDICATIVE ONLY AND ARE BASED ON AN APPROXIMATE 10° LINE OFF VERTICAL FROM CANOPY EDGE TO CREST OF FORECOURT. SITE SPECIFIC REQUIREMENTS FOR DRAINAGE/OVERHANGS SHALL BE DETERMINED BY THE CIVIL ENGINEER AND DIMENSIONS ADJUSTED ACCORDINGLY
- ** MAKE UP PANEL
- *** IF END PANEL IS LESS THAN HALF OF 2390mm THEN DIVIDE EQUALLY THE TWO END PANELS.
- **** CRITICAL OH&S DIMENSION

NOTE : CONSTRUCTION

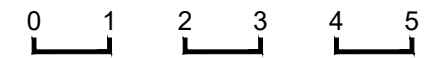
C.01 PRODUCT INDICATOR BOARDS NOT SHOWN FOR DRAWING CLARITY.

NOTE : FINISHES

CANOPY FINISHES WILL BE DEPENDENT ON COMPANY BRANDING



DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

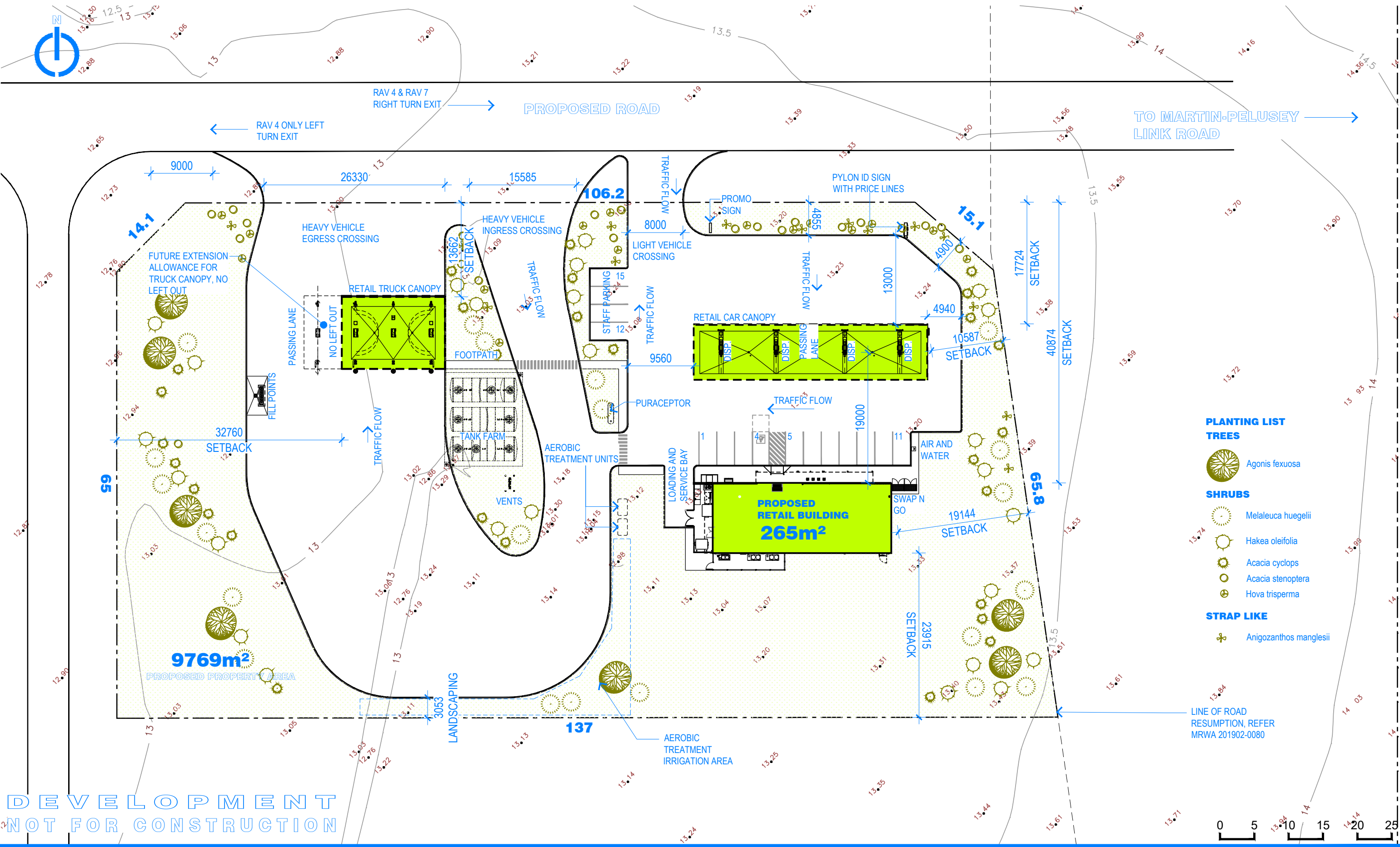
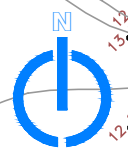
PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014

SHEET
ELEVATION
CANOPY
TRUCK
SHEET 2

REV. DESCRIPTION
A Development Application

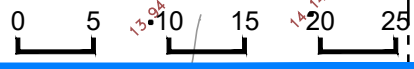
27.08.19

A206
1:100 | **A**



- PLANTING LIST**
- TREES**
- Agonis flexuosa
- SHRUBS**
- Melaleuca huegelii
 - Hakea oleifolia
 - Acacia cyclops
 - Acacia stenoptera
 - Hova trisperma
- STRAP LIKE**
- Anigozanthos manglesii

DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

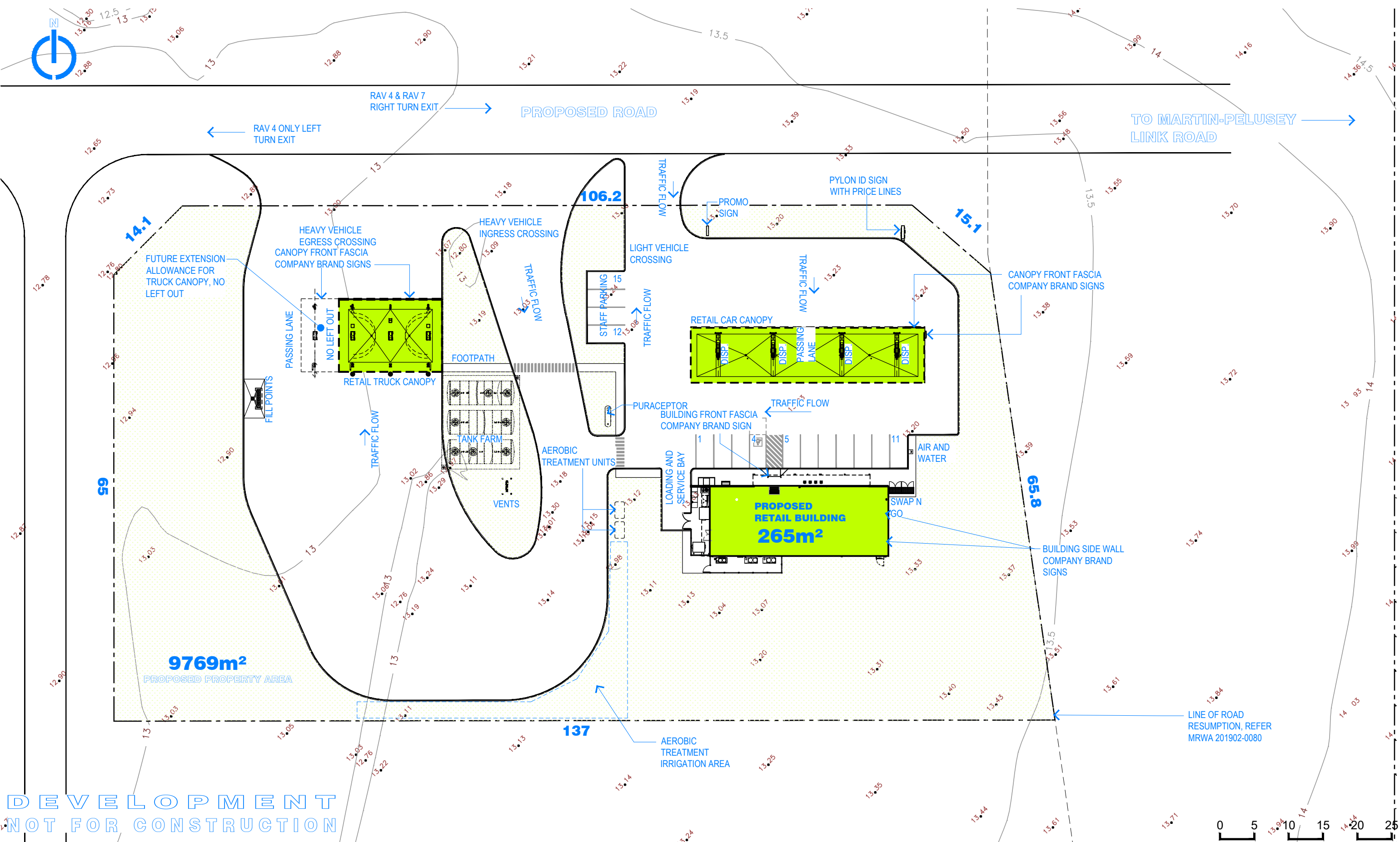
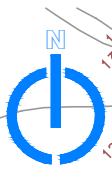
COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014

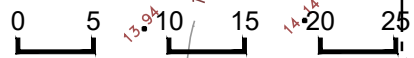
SHEET
PLAN
SITE
LANDSCAPING

REV.	DESCRIPTION	DATE
A	Development Application	28.08.19
B	Carriageway increased to 10m, truck crossing and canopy moved east 4m	05.12.19

L101
1:500 | **B**



DEVELOPMENT
NOT FOR CONSTRUCTION



project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

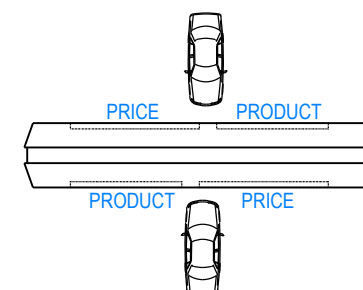
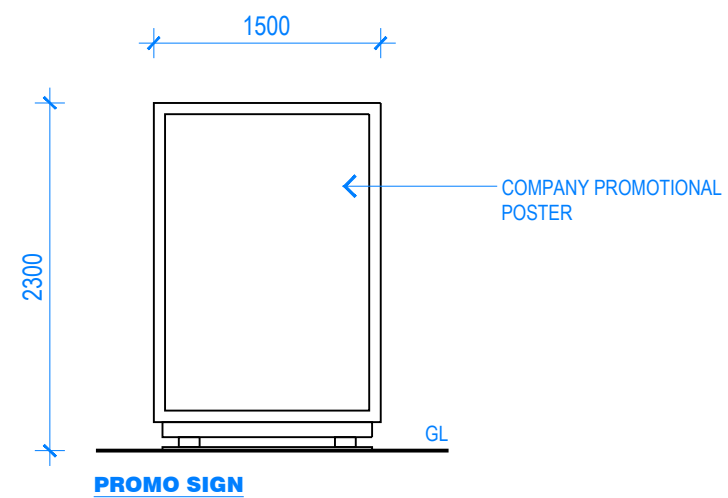
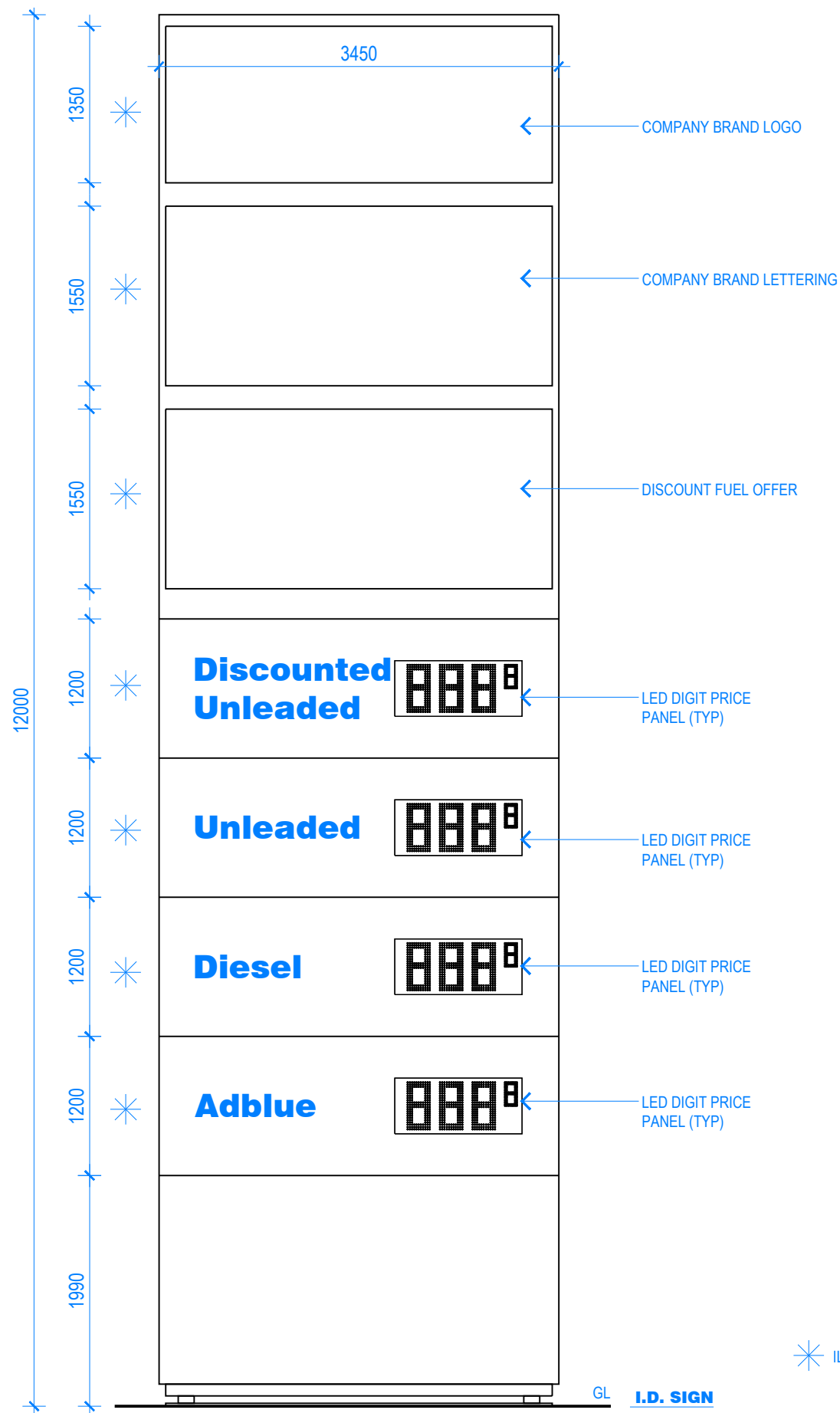
PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014

SHEET
PLAN
SITE
SIGNAGE

REV.	DESCRIPTION	DATE
A	Development Application	28.08.19
B	Carriageway increased to 10m, truck crossing and canopy moved east 4m	05.12.19

S101
1:500 | **B**

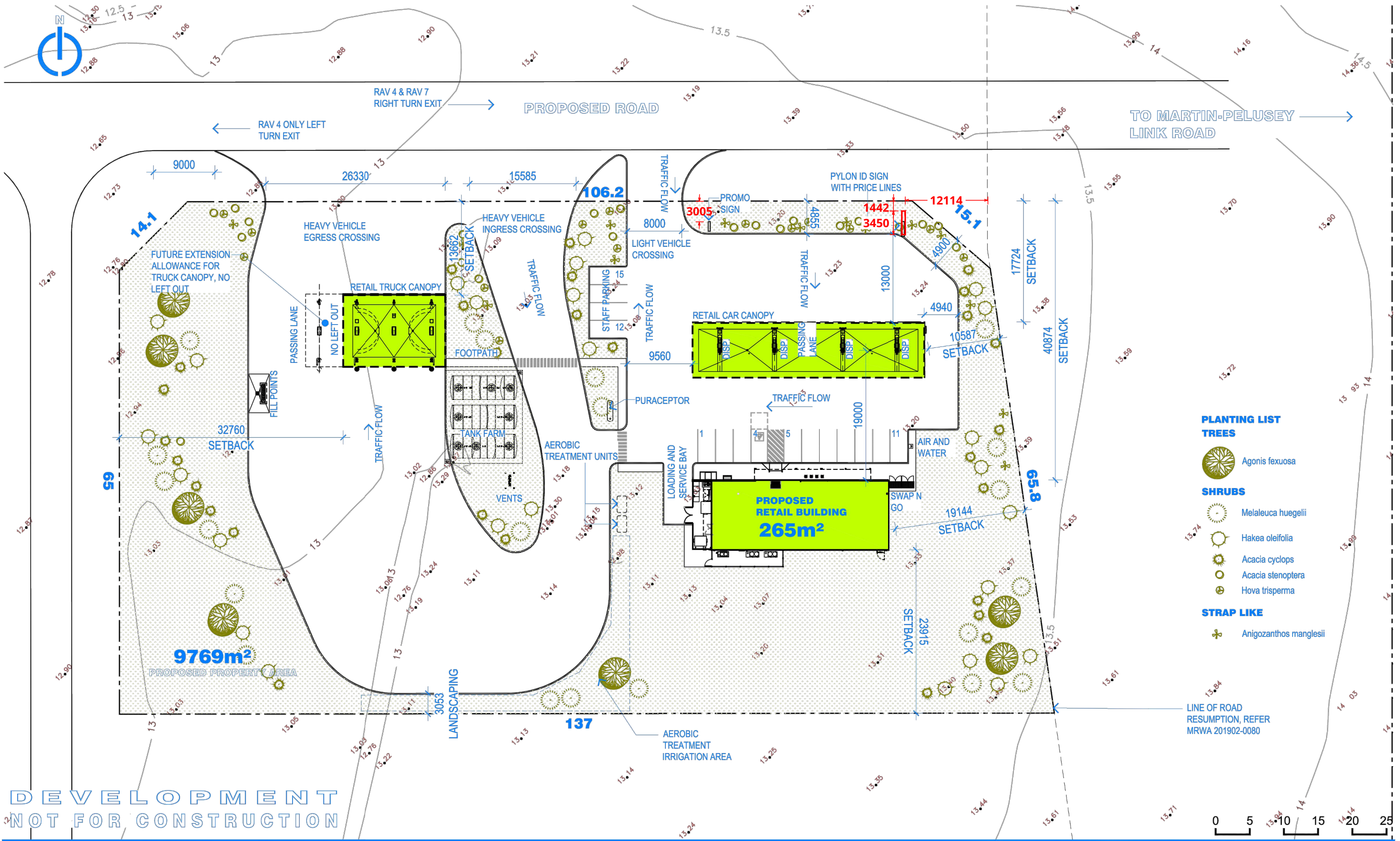
DEVELOPMENT
NOT FOR CONSTRUCTION

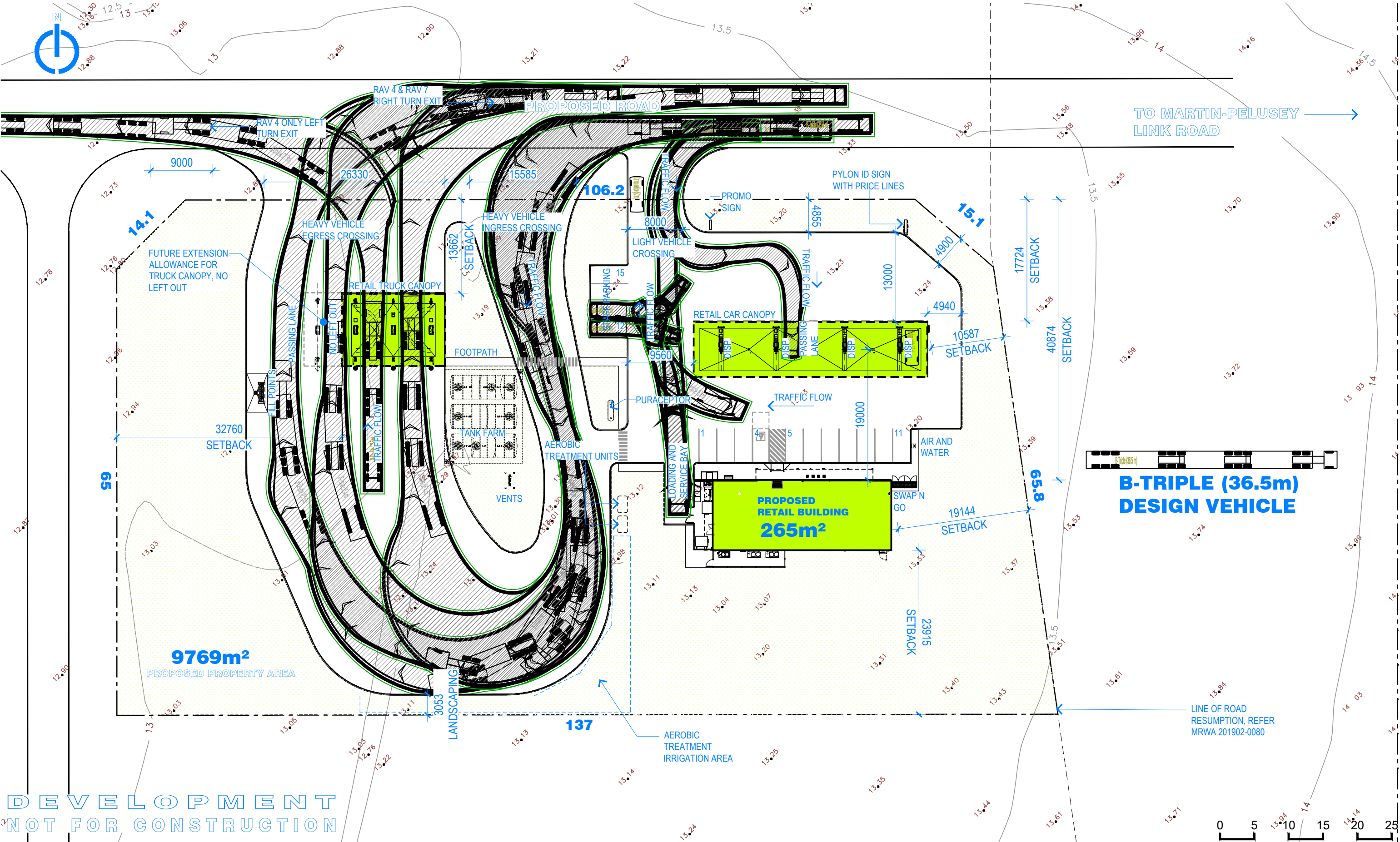


SIGN ORIENTATION-ID/PRICE BOARD
(ID/PRICE SIGNS TO READ LEFT TO RIGHT-PRODUCT THEN PRICE)

* ILLUMINATED PANELS







DEVELOPMENT
NOT FOR CONSTRUCTION

project consultants
DESIGN | DOCUMENT | DELIVER

COPYRIGHT : THIS DRAWING & DESIGN MUST NOT BE COPIED IN WHOLE OR PART WITHOUT WRITTEN CONSENT FROM PROJECT CONSULTANTS WA PTY LTD

PROJECT
EASTCOURT PROPERTY GROUP
PICTON FUEL STATION
LOT 603 MARTIN PELUSEY ROAD
PICTON EAST
1920-014

SHEET
PLAN
SITE
SWEEP PATHS

REV.	DESCRIPTION	
A	Development Application	28.08.19
B	Boundary & roads revised to new concept plan, swept paths revised to suite	02.12.19
C	Carriageway increased to 10m, truck crossing and canopy moved east 4m	05.12.19

T101
1:500 | C

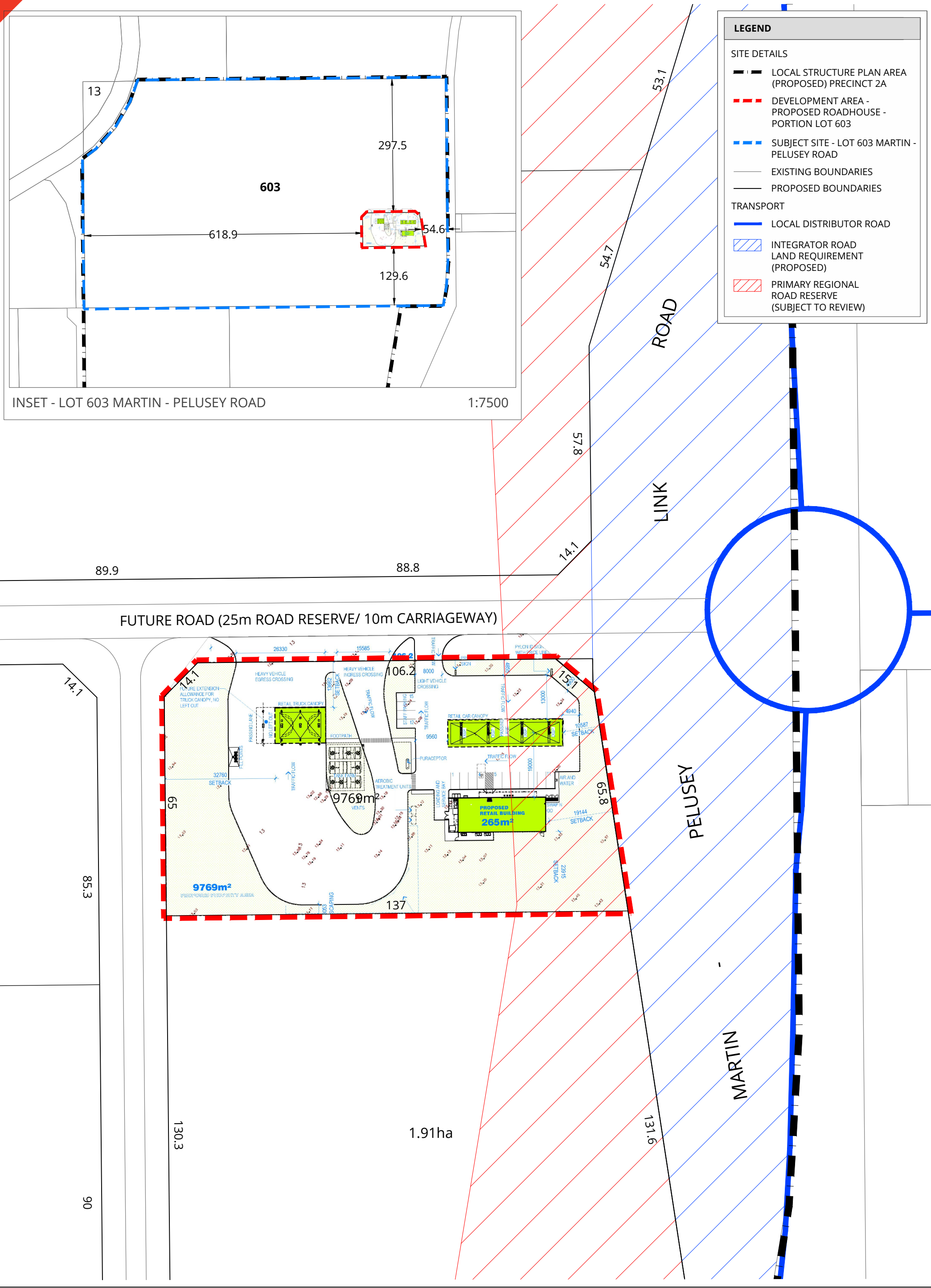


Attachment Five

Service Station Site

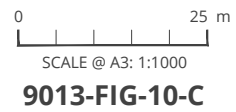
Whilst all care has been taken in the compilation of this document, Rowe Group disclaims any responsibility for any errors or omissions. This document is and remains the property of Rowe Group and may not be reproduced or transmitted, in whole or in part, without the written consent of Rowe Group. All areas and dimensions are subject to survey.

N:\TOWN PLANNING\9000-9999\9013\DRAWING\GA-CAD - ADAM GLASKIN - 2019.12.16
9013_FIG 10C_20191213 Picton East (Concept service station) - DRAWN: A. GLASKIN - DATE CREATED: 2019.12.13 - PROJECTION: TMG450 GD54 -



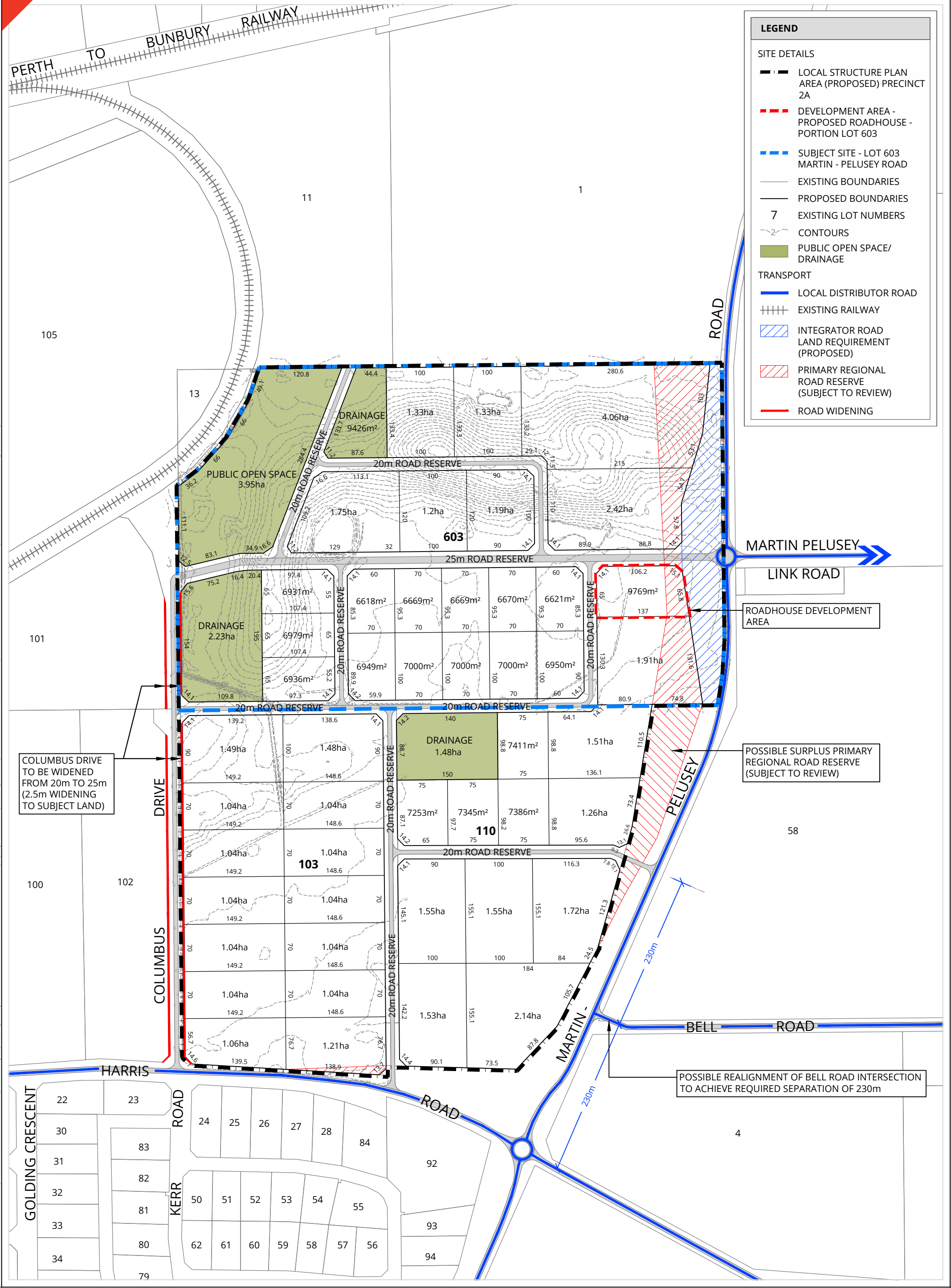
PROPOSED ROADHOUSE SITE
MARTIN - PELUSEY ROAD
PICTON EAST

DRAFT



ROWE GROUP

Whilst all care has been taken in the compilation of this document, Rowe Group disclaims any responsibility for any errors or omissions. This document is and remains the property of Rowe Group and may not be reproduced or transmitted, in whole or in part, without the written consent of Rowe Group. All areas and dimensions are subject to survey.



LEGEND

SITE DETAILS

- LOCAL STRUCTURE PLAN AREA (PROPOSED) PRECINCT 2A
- DEVELOPMENT AREA - PROPOSED ROADHOUSE - PORTION LOT 603
- SUBJECT SITE - LOT 603 MARTIN - PELUSEY ROAD
- EXISTING BOUNDARIES
- PROPOSED BOUNDARIES
- EXISTING LOT NUMBERS
- CONTOURS
- PUBLIC OPEN SPACE/ DRAINAGE

TRANSPORT

- LOCAL DISTRIBUTOR ROAD
- EXISTING RAILWAY
- INTEGRATOR ROAD LAND REQUIREMENT (PROPOSED)
- PRIMARY REGIONAL ROAD RESERVE (SUBJECT TO REVIEW)
- ROAD WIDENING

COLUMBUS DRIVE TO BE WIDENED FROM 20m TO 25m (2.5m WIDENING TO SUBJECT LAND)

MARTIN PELUSEY LINK ROAD

ROADHOUSE DEVELOPMENT AREA

POSSIBLE SURPLUS PRIMARY REGIONAL ROAD RESERVE (SUBJECT TO REVIEW)

POSSIBLE REALIGNMENT OF BELL ROAD INTERSECTION TO ACHIEVE REQUIRED SEPARATION OF 230m

CONCEPT PLAN - WITH PROPOSED ROADHOUSE SITE
LOTS 103, 110 AND 603
PICTON EAST



0 125 m
SCALE @ A3: 1:5000
9013-CON-02-B



19013_CON02B_20191204_Picton East (Concept 1) - DRAWN: A. GLASKIN - DATE CREATED: 2019.12.04 - PROJECTION: MGA50 GD94 - CADASTRE: LANGGATE



Attachment Six

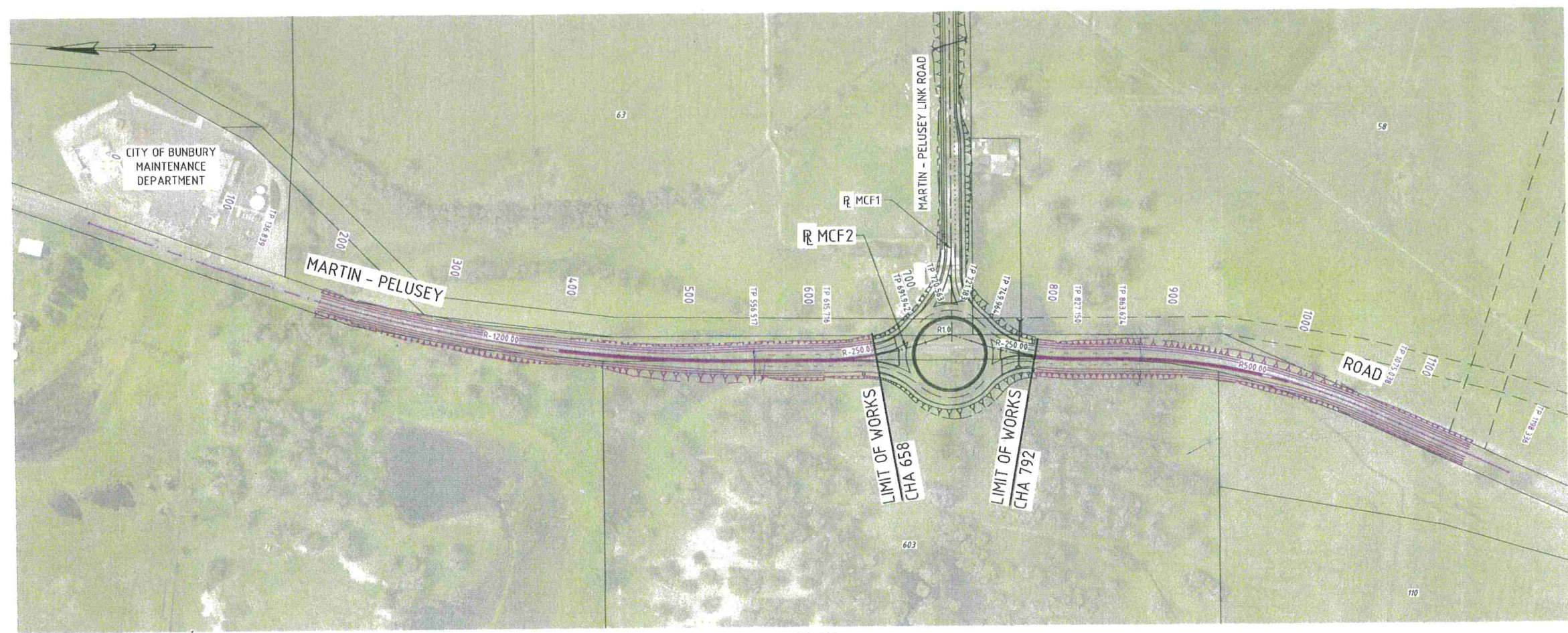
Martin-Pelusey Road Design

NOTES :

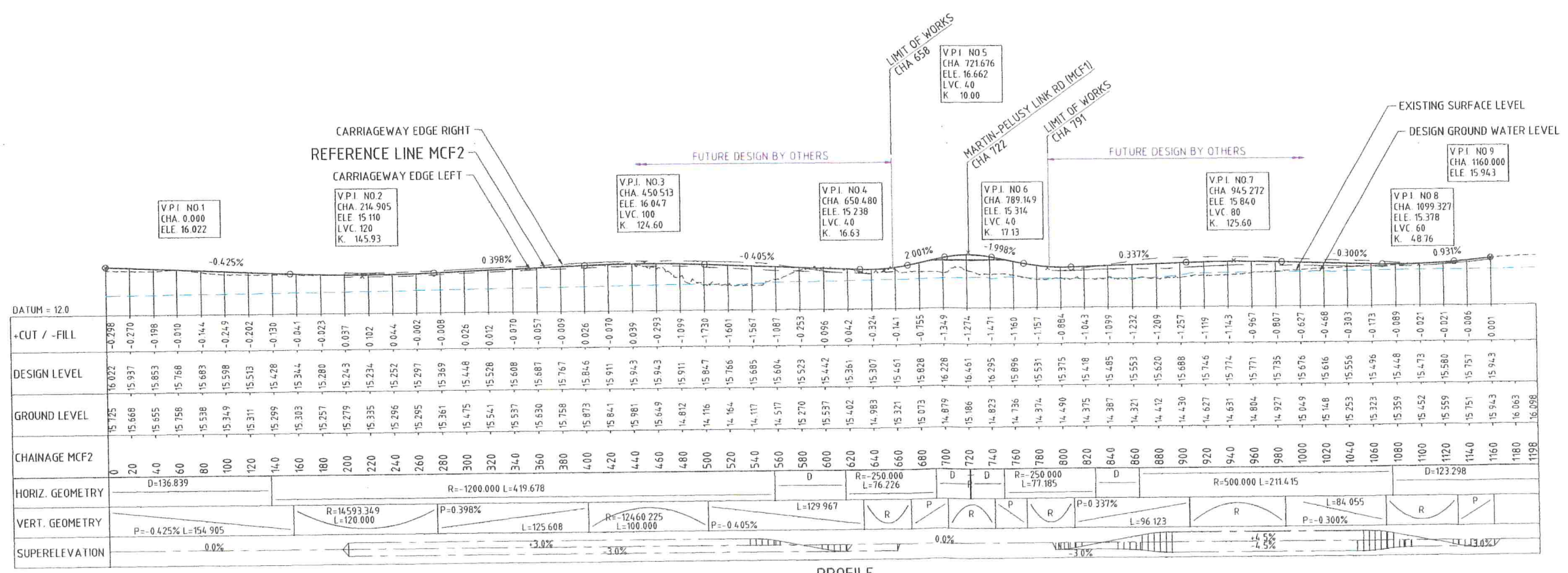
1. GROUNDWATER PROFILE BASED ON GEOTECHNICAL INVESTIGATION. GROUNDWATER DATA LAST REVISED ON 22 FEBRUARY 2019. REFER TO GEOTECHNICAL REPORT FOR FURTHER INFORMATION.
2. ALL DIMENSIONS AND LEVELS ARE IN METRES UNLESS NOTED OTHERWISE.
3. CADASTRAL BOUNDARIES ARE INDICATIVE ONLY AND NEED TO BE VERIFIED BY SURVEY.
4. ALL LINE MARKING IS CONCEPTUAL ONLY.

LEGEND :

- GBR'S BOUNDARY
- CADASTRAL BOUNDARY
- DRAINAGE CULVERTS
- DRAINAGE BASIN
- BRIDGE DECK
- PSP
- SHARED PATH



PLAN
SCALE 1:2000



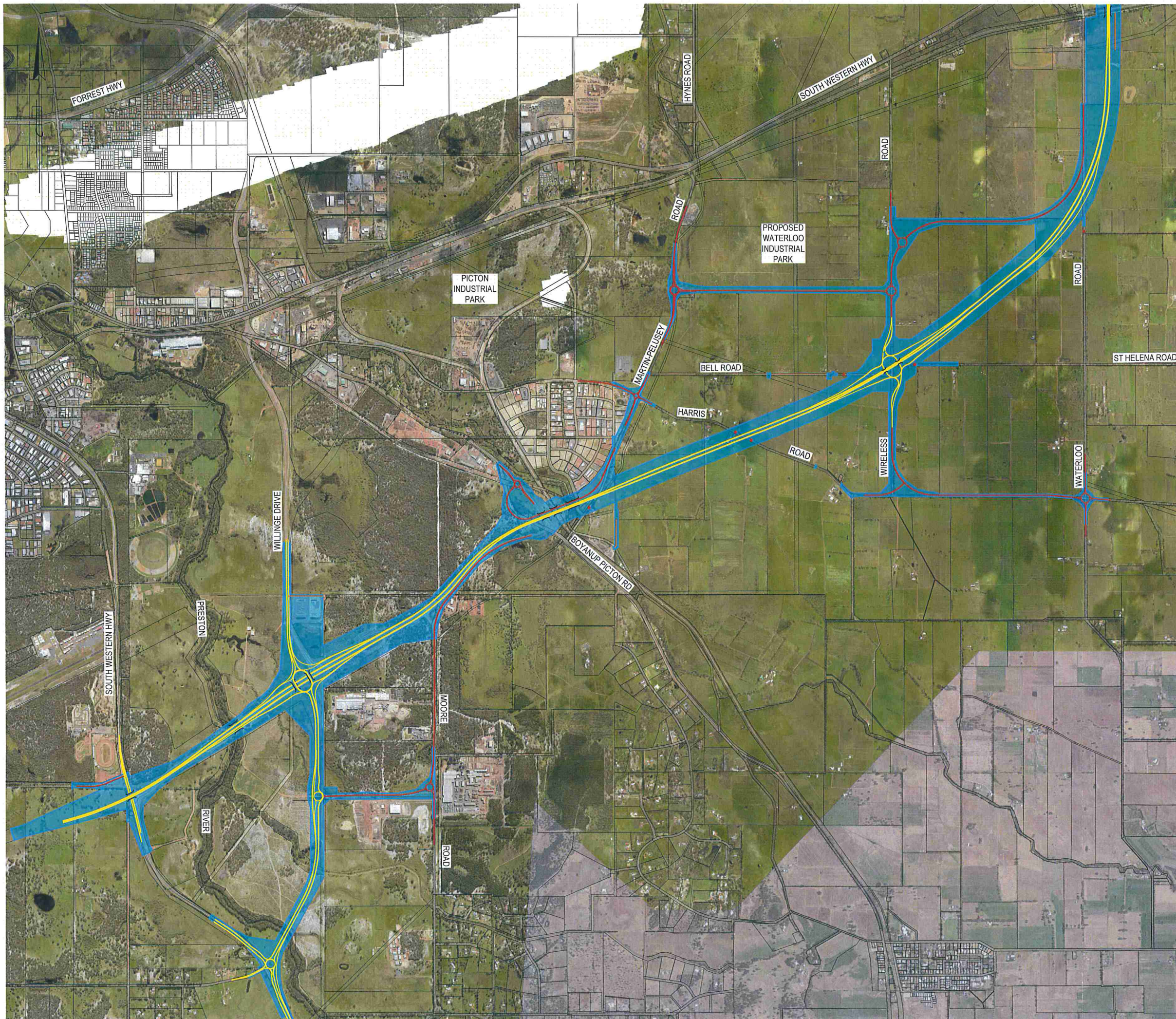
PROFILE
SCALE 1:2000 H, 1:200 V

**SKETCH ONLY
ULTIMATE PLANNING
UNDER DEVELOPMENT**



DATE	14/05/2019	PREPARED	ET
SCALE	1:2000 H; 1:200 V	GRID	PCG94
PROJECT	BUNBURY OUTER RING ROAD (H058)		
TITLE	BORR NORTH ULTIMATE DESIGN MARTIN - PELUSEY ROAD PLAN AND PROFILE (MCF2)		
SKETCH No	BORR-01-SK-FW-1411	REV	B

VERT. 1:200
 HORIZ. 1:2000
 SCALES
 A
 1



- LEGEND:**
- REFERRAL CORRIDOR
 - PROPOSED MAJOR ROAD
 - PROPOSED LOCAL ROAD
 - PROPOSED ACCESS ROAD

SKETCH ONLY
ULTIMATE PLANNING
UNDER DEVELOPMENT



BUILDING OUR FUTURE	
DATE	15/04/2019
SCALE	1:15000m @ A1
PROJECT	BUNBURY OUTER RING ROAD (H058)
TITLE	BORR NORTH ACCESS STRATEGY PLAN SHEET 2 OF 2
SKETCH No.	BORR-01-SK-RD-0151
REV	B

