



INFRASTRUCTURE DIRECTORATE

APPENDICES

ITEMS: 12.3.1 – 12.3.4

ORDINARY COUNCIL MEETING

To Be Held

Wednesday, 27th of October 2021

Commencing at 5.00pm

At

**Shire of Dardanup
Administration Centre Eaton
1 Council Drive - EATON**

This document is available in alternative formats such as:
~ Large Print
~ Electronic Format [disk or emailed]
Upon request.

EATON-MILLBRIDGE

Overview plan

(Appendix ORD: 12.3.1A)

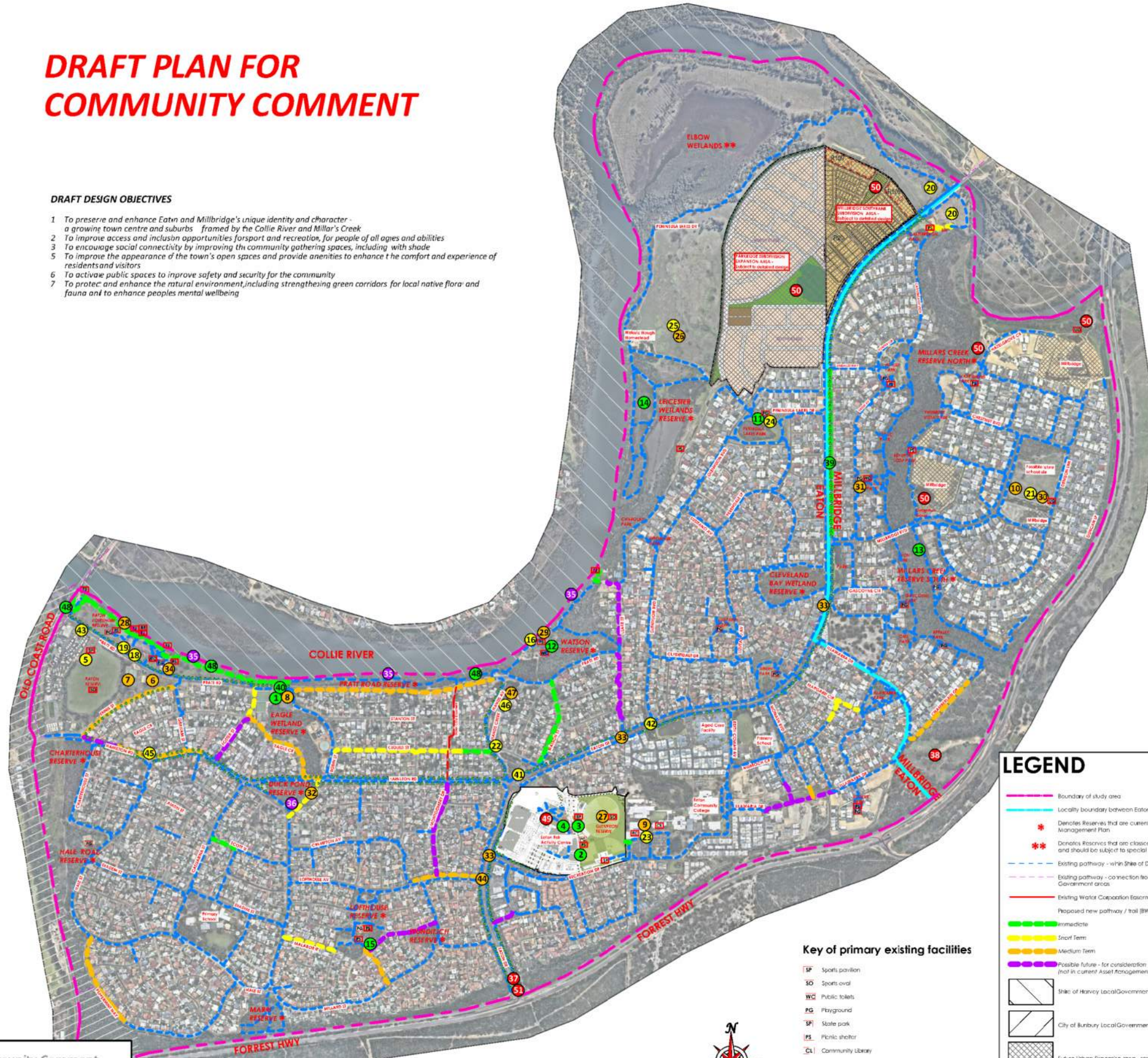


COMMUNITY FACILITIES PLAN

DRAFT PLAN FOR COMMUNITY COMMENT

DRAFT DESIGN OBJECTIVES

- 1 To preserve and enhance Eaton and Millbridge's unique identity and character - a growing town centre and suburbs framed by the Collie River and Millar's Creek
- 2 To improve access and inclusion opportunities for sport and recreation, for people of all ages and abilities
- 3 To encourage social connectivity by improving the community gathering spaces, including with shade
- 5 To improve the appearance of the town's open spaces and provide amenities to enhance the comfort and experience of residents and visitors
- 6 To activate public spaces to improve safety and security for the community
- 7 To protect and enhance the natural environment, including strengthening green corridors for local native flora and fauna and to enhance peoples mental wellbeing



LEGEND

- Boundary of study area
- Locality boundary between Eaton and Millbridge
- Denotes Reserves that are currently subject to a Natural Area Management Plan
- Denotes Reserves that are classed as environmentally sensitive and should be subject to special protective considerations
- Existing pathway - within Shire of Dardanup
- Existing pathway - connection from adjacent Local Government areas
- Existing Water Corporation easement
- Proposed new pathway / trail (BW = boardwalk)
- Immediate
- Short Term
- Medium Term
- Possible future - for consideration (not in current Asset Management Plans)
- Shire of Harvey Local Government area
- City of Bunbury Local Government area
- Future Urban Expansion area - residential (with name of development noted)
- Possible future 'Green Belt' including Street Trees - hardy species to be nominated (Particular locations shown only, subject to feasibility)
- Location and type of any proposed new trees in public open spaces to be determined in separate Open Space Masterplans or Landscape Development Plans.

Key of primary existing facilities

- SP Sports pavilion
- SO Sports oval
- WC Public toilets
- PG Playground
- SP Skate park
- PS Picnic shelter
- CL Community Library
- RC Recreation Centre
- FJ Fishing platform or jetty
- BR Boat ramp
- UO Undeveloped open space

Note: Not shown on plan - BBQ's, shade sails, bus stops, drink fountains

PROPOSED AND POSSIBLE FUTURE IMPROVEMENTS

- Possible timeframes for implementation are defined as follows:
- Immediate - within 1 year (Year 1, i.e. 2020-2021)
 - Short term - between 1-4 years (Year 2 to 4)
 - Medium term - between 5-10 years (Years 5 to 10)
 - Possible future improvements - feasibility and time frame still to be determined
 - Projects by an external authority or group which relate to community facility provision

All proposed and possible future improvements are subject to feasibility, approval and funding. The listing below has been derived from the Shire's Asset Management Plans and initial Shire Staff input.

- \$ Denotes projects which are subject to funding - including grants or confirmed budget allocations
- E Denotes internal Environmental projects
- EFS Project arising from endorsed Eaton Foreshore Master Plan

Improvements from Buildings Asset Management Plan (BAMP)

1	Eaton Bowling Club - New building (grant funding secured) - in progress
2	Council Drive realignment landscaping works
3	Eaton Skate Park - New facility \$
4	Eaton Office & Library - New building Subject to further approvals
5	New Eaton Oval Clubrooms \$
6	Eaton Hall (Theatre) - New building \$
7	Eaton Tennis Club - Decommission courts and tennis court building at Eaton Oval
8	New tennis courts at Eaton Bowling Club \$
9	Eaton Recreation Centre - Building Extension - Additional Indoor Courts \$
10	Millbridge Toilets - New Facility, exact location TBC

Improvements from Parks and Reserves Asset Management Plan (PRAMP)

11	Peninsula Lake - Park - Stage 2: Playground expansion - in progress
12	Watson Reserve - New water filtration System - in progress
13	Millars Creek - lighting upgrade, south of Millbridge Blvd
14	Possum Sanctuary, Leicester Reserve - with LCC; grant funded E - completed
15	Fencing remnant bush areas on south side of Lighthouse Reserve, near Pecan Lane E
16	Watson Reserves - New park sign and bench
17	New fenced dog exercise area (Location to be confirmed - not shown on this plan)
18	Eaton Foreshore - New bore \$
19	Eaton Foreshore - irrigation upgrade \$
20	Collie River Foreshore, Millbridge/Southbank - Establish new public open space \$
21	East Millbridge Public Open Space - Stage 1: New irrigated turf
22	Eaton Town Centre - New landscaping - including Hands Creek \$
23	Eaton Recreation Centre - New planting
24	Peninsula Lake - Park - Stage 3: Hard landscaping and amenities
25	Collie River Foreshore, Parkridge - Establish new public open space: Stage 1 \$
26	Collie River Foreshore, Parkridge - Establish new public open space: Stage 2 \$
27	Glen Huon Oval - New water filtration system
28	Eaton Foreshore - Stage 3: Landscaping, lighting, reticulated power EFS \$
29	Watson Reserves - Landscape upgrade \$
30	East Millbridge - Stage 2: Establish new public open space \$
31	Cadell Park - New shade sails in playground \$
32	Duck Pond - New park sign & bench
33	Eaton Drive Islands & Verges - Media strip landscape upgrade
34	Eaton Foreshore - Stage 5 - Hard landscaping and infrastructure EFS \$
35	Eaton Foreshore stabilisation works - resulting from Lower Collie River Erosion Management Plan (currently Draft)
36	Duck Pond Reserve - Water Sensitive Urban Design improvements
37	Possible future new Eaton Drive Entry Statement from Forrest Highway
38	Possible future Mountain Bike Track location TBC. If near Forrest Hwy - may be subject to Main Roads approvals \$

Improvements from Roads Asset Management Plan (RAMM)

39	Eaton Drive Extension - extension of second carriageway (staged)
40	Pratt Road - Modifications to Pratt Red car park (opposite Eaton Bowling Club)
41	Hands Avenue signalled intersection and pedestrian safety treatment \$
42	Glenhuon Boulevard signalled intersection \$
43	Pratt Road - Streetscaping and modifications to complement Eaton Foreshore Upgrade
44	Eaton Drive - Intersection upgrades and modifications: Lighthouse Ave (tbc) \$

Improvements from Stormwater Asset Management Plan (SWAMP)

45	Hamilton Road, near Hale Road - improve drainage capacity \$
46	Improve water quality - Hands Creek: Stage 1 \$
47	Improve water quality - Hands Creek: Stage 2 \$

Improvements from Pathways Asset Management Plan (PAMP)

48	Waterfront Historic Walk Trail from Cd Coast Rd Bridge to Bands Av lookout, Govt. funded - path completed
	All proposed new pathways shown on plan - refer to Legend Timeframes indicated by colour coding key in the Legend.

Improvements by others - Influencing community facilities provision

49	Eaton Fair Activity Centre upgrade and Town Square, including realignment of Council Drive
50	Future public open space areas - by respective Developer
51	Dual turn right lanes into Forrest Hwy from Eaton Dr - by Ma in Roads

Other possible future improvements to be determined, subject to community and stakeholder engagement, feasibility & funding

Draft Plan for Community Comment

DESIGNED	DRAWN DATE	DRAWING NO.	SIZE
VP	25/06/2020	2020-CPT-0004-01	A1
REDRAWN	AUTHORISED	REVISION	ENDORSED
VP	LB	10/03/2021	-

EATON-MILLBRIDGE

Western area

(Appendix ORD: 12.3.1A)



COMMUNITY FACILITIES PLAN

**DRAFT PLAN FOR
COMMUNITY COMMENT**

**For draft Plan - refer to
number key on Sheet 1
(overview plan)**



Key of primary existing facilities

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- Shire of Harvey Local Government area
- City of Bunbury Local Government area
- Future Urban Expansion area - residential (with name of development road)
- Possible future 'Green Belt' holding Street Trees - hazy species to be nominated (indicative locations shown on, subject to feasibility)
- Location and type of any proposed new trees in public open spaces to be determined in separate Open Space Masterplans or Landscape Development Plans

Draft Plan for Community Comment

DESIGNED	DRAWN DATE	DRAWING NO.	SIZE
VP	25/06/2020	2020-CPT-0004-02	A1
REDRAWN	AUT-O-RISED	REVISION	ENDORSED
VP	LB	10/03/2021	-



EATON-MILLBRIDGE

Central area

(Appendix ORD: 12.3.1A)



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Not to scale

Draft Plan for Community Comment

DESIGNED	DRAWN DATE	DRAWING NO.	SIZE
VP	25/06-2020	2020-CPT-0004-03	A1
REDRAWN	AUTHORISED	REVISION	ENDORSED
VP	LB	10/03/2021	-

EATON-MILLBRIDGE

Northern area

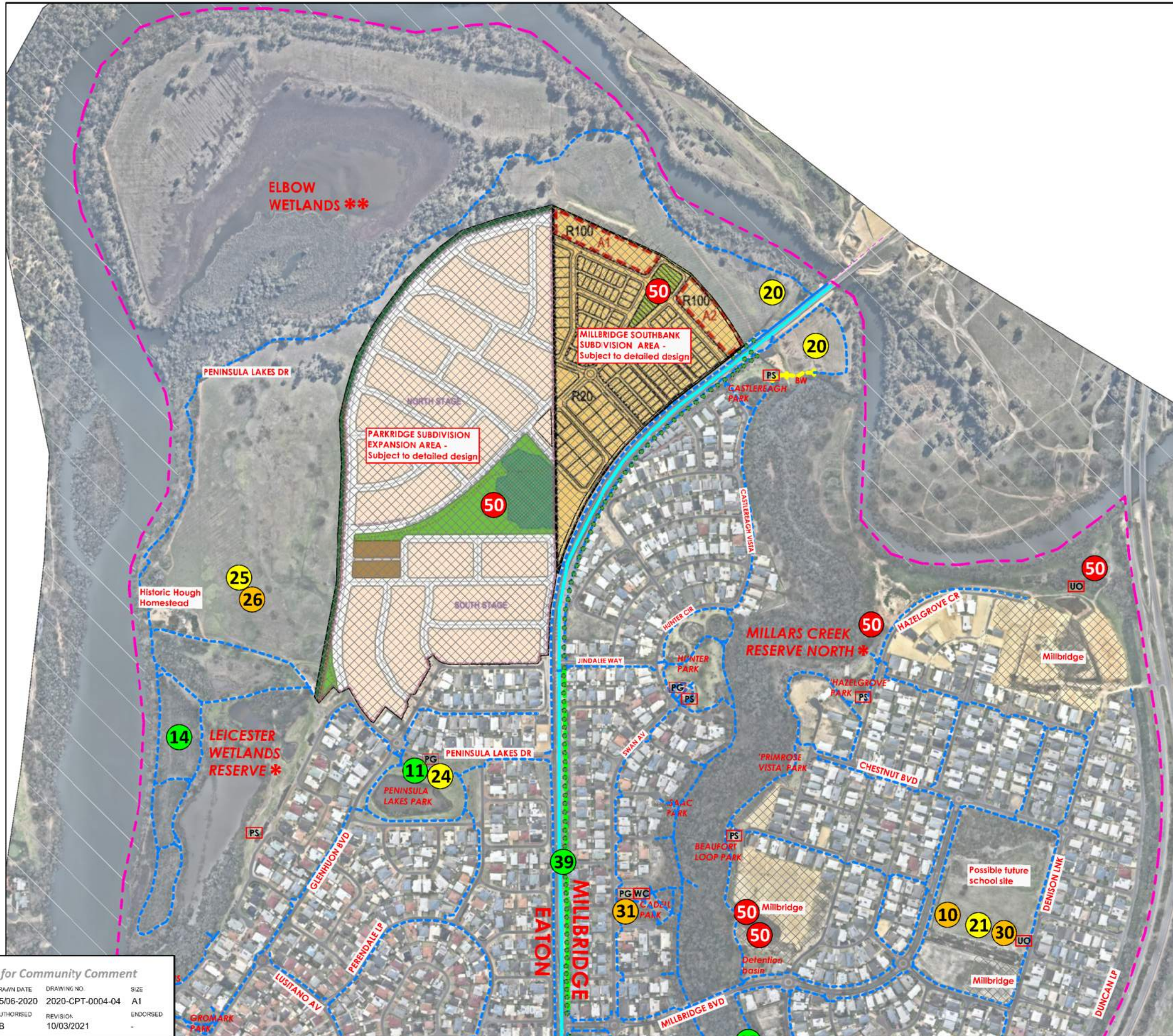
(Appendix ORD: 12.3.1A)



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DESIGNED	DRAWN DATE	DRAWING NO.	SIZE
VP	25/06/2020	2020-CPT-0004-04	A1
REDRAWN	AUTHORISED	REVISION	ENDORSED
VP	LB	10/03/2021	



Not to scale

(Appendix ORD: 12.3.1B)

Eaton-Millbridge Community Facilities Plan – outcomes of Community Engagement July 2021 and Plan Review

The draft Eaton-Millbridge Community Facilities Plan was developed in 2020-2021 with input from the Eaton Advisory Group. Project included in the existing Shire Ten Year Asset Management Plans in 2020 provided the initial base plan for stakeholder engagement. The draft plan was endorsed by Council for public advertising at the Ordinary Council Meeting held on 31 March 2021 [CR: 52-21], for the purposes of seeking community feedback.

The community engagement was scheduled to coincide with an overall Eaton Community Engagement, which invited the input of community members on both the draft Community Facilities Plan and on proposed improvements to Eaton Drive including intersections. The engagement was open for comments for four weeks, from 12 July to 9 August 2021.

The results of the overall engagement process were collated and assessed, with outcomes tabled below.

The draft Plan was advertised for comment through the following forums:

- Direct engagement with the Eaton Advisory Group members, including requesting that they share the link to the engagement with their networks;
- Direct engagement with the local Youth Advisory Group for Eaton-Millbridge, facilitated by the Shire's Place and Community Officer;
- Online engagement with the broader community via 'Connect' – the Shire's online tool using the Social Pin Point platform;
- Promoted through the Shire's website – with an article posted on 12 July 2021 registering 325 unique page views;
- Promoted in social media posts, including a video posted on Facebook on 8 July 2021 which was viewed 132 times for more than 1 minute and 637 times for 3 second views, plus general Facebook posts on July 8, July 12, July 20 and August 6;
- Newspaper advertisement through the 'Community News' section in the June 2021 edition;
- Placement of public notices in locations including both the Dardanup and Eaton Shire offices and any local community noticeboards including in Eaton, Millbridge, Dardanup, Burekup and in all rural communities, in acknowledgement that residents in all of the Shire localities utilise the facilities in the Eaton-Millbridge townsite area;
- A large printed copy of the plan was located in both the Eaton and Dardanup Shire Offices;
- Promotion in the Shire's E-newsletter on 16 July 2021, with 254 clicks registered on the link to read the full story;
- A display was set up at the Eaton Fair Shopping Centre, with the permission of Citygate. This included one week of the display having a Shire representative available to answer questions and receive comments, from 14 to 21 July between 9:30am and 1pm. There were 175 recorded visits to the display;
- Direct correspondence with identified key external stakeholder agencies, with invitations to comment on the draft Plan sent to relevant agency stakeholders including the Greater Bunbury Elders Group (Traditional Owners), Eaton Primary School, Glen Huon Primary School, Eaton Community College, Australind Police Station, St John Ambulance, Department of Land, Heritage and Planning (DLHP), Main Roads WA, Water Corporation, Aqwest, Alinta Energy, Western Power, Department of Water and Environmental Regulation (DWER), and Citygate;
- Promotion in Shire President's fortnightly radio interview, which was published as a podcast.

(Appendix ORD: 12.3.1B)

Limited feedback was received through the 'Connect' online engagement. 319 total visits were made to the page during the engagement period by 79 unique users. Seven proposed improvements shown on the draft Plan received 'up' votes (in favour of the improvement), no proposed improvements received 'down' votes and only three comments were received via the online engagement. No written submissions were received from this engagement. It could be presumed that this was due to a number of other community engagement exercises also occurring around the same time, including the Community Scorecard and playgrounds consultation for Lofthouse Reserve and Cadell Park.

The Eaton Fair shopping centre display was the source of the majority of the comments received. While this engagement was focused on Eaton Drive, wider discussions were also welcomed and recorded. Below is an image of the display stand at the shopping centre:



A large banner showing a map of the proposed intersection treatments and a smaller banner with details were at the display stand at Eaton Fair, in addition to the Eaton-Millbridge Community Facilities Plan. A4 sized information flyers were available as well as a community feedback form.

Further details of the engagement on Eaton Drive including Intersections was documented in the Report to Council on 29 September 2021. The community comments from this engagement have been extracted and included in the table below, including Officer Comments. Comments which were included in the submissions table in the report to Council on 29 September 2021 have also been included and noted as such. The relevant Council Resolutions from that meeting have been included in the background information for Agenda Report 12.3.1 – Eaton-Millbridge Community Facilities Plan – for 27 October 2021.

No email or written submissions were received from community members.

Several comments were received via email from Agency stakeholders, which have been tabled below.

(Appendix ORD: 12.3.1B)

Community and other stakeholder comments have been provided in the submissions table below, together with Officer Comments. Note that any information which might identify a non-agency respondent – such as residents – has been removed to protect participants’ privacy. All participants who provided a postcode have been identified as coming from Eaton/Millbridge.

Recommended amendments to the Plan will be noted in the Report to Council when the Plan is presented for endorsement.

Submissions Table and Officer Comments

Comment no.	Submitter Comment	Officer Comment
	‘Connect’ (Social Pinpoint) comments from online engagement	
	Re: item – Possible Future Green Belt ‘I often use the path on Hamilton Road for walking or cycling but the street lights are on the opposite side of the road to the path which makes it very difficult to use the pathways after sunset.’	Noted
	Re: item – Eaton Fair Activity Centre upgrade and Town Square, including realignment of Council Drive ‘I think it is important that access to the carpark that is on Eaton Drive and the Council Avenue is still accessible from the roundabout.’	Noted
	Re: item – Eaton Drive Extension: Extension of second carriageway (staged) ‘Road noise has increased by quite a bit from Eaton Drive and sound from the highway. Please look at ways of reducing this with additional vegetation, road sealing and sound absorbing features.’	Noted
	Eaton Youth Advisory Group input – notes from a workshop facilitated by the Shire’s Place and Community Officer	
	During the Eaton Youth Advisory Group Meeting on Tuesday 27 April 2021, the draft Eaton-Millbridge Facilities Plan was presented to the group to provide feedback and suggestions about how young people currently use the facilities in Eaton-Millbridge, what they wish were available and what improvements could be made over the next 1 to 10 years.	Public open space will be developed in East Millbridge including a playground – note that grant conditions stipulate that this needs to cater to very young children. Footpath improvements are ongoing and possible future street trees are proposed in

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
	<p>The young people were allocated 5-10 minutes to brainstorm ideas, suggestions and comments onto post it notes (one idea per note). Following this, they worked together to group everyone's post-it notes into similar themes or ideas.</p> <p>Once the post-it notes were grouped, the young people were asked to rank the ideas from 1 to 15 with one being the thing most important to them and 15 being the least important to them.</p> <p>The top six priorities for the group include:</p> <ul style="list-style-type: none">• More footpaths that are safe and accessible• Better access to drinking fountains (Eaton Drive and Millbridge Boulevard)• More bins along main roads with high foot traffic• Parks/playground in Millbridge across the bridge• More crossways/safe places to cross on Eaton Drive• Shade on footpaths	<p>the Plan (subject to detailed design) – this will require funding and a street tree planting strategy is recommended for a cohesive approach. This will help to provide shade for users of the pathways.</p> <p>Additional comments can be considered in provision of minor amenities, such as for drinking water fountains, seats, bins etc.</p> <p>Trampolines are included in the Peninsula Lakes Park Master plan.</p> <p>Giant chess and additional public artworks can be considered as a possible place activation initiative.</p> <p>The need for additional courts, including for informal ball play, has been identified; this can be considered.</p> <p>Request for flying fox in northern part of the study area is noted.</p>


(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment			
	<table border="1"> <thead> <tr> <th data-bbox="367 304 972 376">Ideas, suggestions, comments</th> <th data-bbox="972 304 1283 376">Priority</th> <th data-bbox="1283 304 1476 376">Total</th> </tr> </thead> </table>	Ideas, suggestions, comments	Priority	Total	
Ideas, suggestions, comments	Priority	Total			
	<table border="1"> <tr> <td data-bbox="367 376 972 448">More toilets</td> <td data-bbox="972 376 1283 448">3, 5, 5, 6, 14, 7, 12, 9, 7, 10</td> <td data-bbox="1283 376 1476 448">78</td> </tr> </table>	More toilets	3, 5, 5, 6, 14, 7, 12, 9, 7, 10	78	
More toilets	3, 5, 5, 6, 14, 7, 12, 9, 7, 10	78			
	<table border="1"> <tr> <td data-bbox="367 448 972 520">More footpaths that are safe and accessible</td> <td data-bbox="972 448 1283 520">2, 2, 2, 12, 15, 8, 3, 10, 6, 9</td> <td data-bbox="1283 448 1476 520">69</td> </tr> </table>	More footpaths that are safe and accessible	2, 2, 2, 12, 15, 8, 3, 10, 6, 9	69	
More footpaths that are safe and accessible	2, 2, 2, 12, 15, 8, 3, 10, 6, 9	69			
	<table border="1"> <tr> <td data-bbox="367 520 972 592">Trampolines</td> <td data-bbox="972 520 1283 592">12, 13, 14, 14, 14, 9, 6, 11, 15, 3</td> <td data-bbox="1283 520 1476 592">111</td> </tr> </table>	Trampolines	12, 13, 14, 14, 14, 9, 6, 11, 15, 3	111	
Trampolines	12, 13, 14, 14, 14, 9, 6, 11, 15, 3	111			
	<table border="1"> <tr> <td data-bbox="367 592 972 663">Giant chess</td> <td data-bbox="972 592 1283 663">7, 11, 13, 15, 15, 14, 15, 8, 14, 8</td> <td data-bbox="1283 592 1476 663">120</td> </tr> </table>	Giant chess	7, 11, 13, 15, 15, 14, 15, 8, 14, 8	120	
Giant chess	7, 11, 13, 15, 15, 14, 15, 8, 14, 8	120			
	<table border="1"> <tr> <td data-bbox="367 663 972 735">Better access to drinking foundations (Eaton Dr and Millbridge Blvd)</td> <td data-bbox="972 663 1283 735">3, 4, 5, 9, 11, 5, 2, 2, 5, 11</td> <td data-bbox="1283 663 1476 735">57</td> </tr> </table>	Better access to drinking foundations (Eaton Dr and Millbridge Blvd)	3, 4, 5, 9, 11, 5, 2, 2, 5, 11	57	
Better access to drinking foundations (Eaton Dr and Millbridge Blvd)	3, 4, 5, 9, 11, 5, 2, 2, 5, 11	57			
	<table border="1"> <tr> <td data-bbox="367 735 972 807">More bins along main roads with high foot traffic</td> <td data-bbox="972 735 1283 807">2, 6, 6, 7, 8, 10, 14, 4, 13, 2</td> <td data-bbox="1283 735 1476 807">72</td> </tr> </table>	More bins along main roads with high foot traffic	2, 6, 6, 7, 8, 10, 14, 4, 13, 2	72	
More bins along main roads with high foot traffic	2, 6, 6, 7, 8, 10, 14, 4, 13, 2	72			
	<table border="1"> <tr> <td data-bbox="367 807 972 879">Parks/playground in Millbridge across the bridge</td> <td data-bbox="972 807 1283 879">1, 7, 7, 8, 9, 6, 1, 1, 8, 1</td> <td data-bbox="1283 807 1476 879">49</td> </tr> </table>	Parks/playground in Millbridge across the bridge	1, 7, 7, 8, 9, 6, 1, 1, 8, 1	49	
Parks/playground in Millbridge across the bridge	1, 7, 7, 8, 9, 6, 1, 1, 8, 1	49			
	<table border="1"> <tr> <td data-bbox="367 879 972 951">Flying fox in Millbridge/North Eaton</td> <td data-bbox="972 879 1283 951">9, 11, 11, 13, 13, 11, 5, 15, 10, 4</td> <td data-bbox="1283 879 1476 951">102</td> </tr> </table>	Flying fox in Millbridge/North Eaton	9, 11, 11, 13, 13, 11, 5, 15, 10, 4	102	
Flying fox in Millbridge/North Eaton	9, 11, 11, 13, 13, 11, 5, 15, 10, 4	102			
	<table border="1"> <tr> <td data-bbox="367 951 972 1023">Outdoor basketball/netball courts</td> <td data-bbox="972 951 1283 1023">2, 3, 10, 11, 15, 1, 7, 5, 11, 5, 5</td> <td data-bbox="1283 951 1476 1023">75</td> </tr> </table>	Outdoor basketball/netball courts	2, 3, 10, 11, 15, 1, 7, 5, 11, 5, 5	75	
Outdoor basketball/netball courts	2, 3, 10, 11, 15, 1, 7, 5, 11, 5, 5	75			
	<table border="1"> <tr> <td data-bbox="367 1023 972 1094">Additional public art</td> <td data-bbox="972 1023 1283 1094">4, 6, 10, 10, 12, 12, 8, 14, 9, 6</td> <td data-bbox="1283 1023 1476 1094">91</td> </tr> </table>	Additional public art	4, 6, 10, 10, 12, 12, 8, 14, 9, 6	91	
Additional public art	4, 6, 10, 10, 12, 12, 8, 14, 9, 6	91			

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment			Officer Comment
	Anti-littering signs	5, 7, 12, 13, 15, 13, 11, 13, 3, 7	99	
	Benches and places to sit in parks and at the skate park	3, 4, 8, 8, 9, 2, 4, 12, 4, 13, 12	79	
	More crossways/safe places to cross on Eaton Dr	1, 1, 1, 10, 14, 15, 10, 6, 2, 13	73	
	Shade on foot paths	1, 2, 4, 4, 5, 3, 13, 3, 12, 14	61	
	Staying safe in your neighbourhood workshops/session*	6, 8, 9, 10, 12, 4, 9, 7, 1, 15	81	
	<p>*please note: Staying safe in your neighbourhood workshops/sessions does not relate to the facilities plan; however, it was brought up during the brainstorm when discussing if the young people felt safe in their community.</p> <p>Ideas, suggestions and comments</p> <p>Below are the ideas, suggestions and comments brainstormed by the young people during the session. They have been grouped into similar themes and ideas.</p>			

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
		
	Community submissions	
-	No written submissions were received.	
	Community comments from shopping centre engagement * indicates that a community comment and associated Officer Comment were included in the report to Council on 29 September 2021	<i>Officer Comments as included in report to Council on 29 September 2021:</i>
	Comments on intersections:	
*	Glen Huon Drive / Eaton Drive <ul style="list-style-type: none"> Wants Glen Huon traffic signals Immediately 	'The Shire has made application to MRWA for installation of traffic signals at Glen Huon /

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
	<p>The 'Connect' online engagement registered two 'up' votes in favour of improving this intersection (noted on the draft advertised version of the plan as 'signalised intersection.')</p>	<p>Eaton Drive intersection to be constructed in 2021/22 financial year.'</p>
*	<p>Hands Avenue / Eaton Drive</p> <ul style="list-style-type: none"> • Happy with relocation of Hands Ave • Wants lights at Hands Ave / Eaton Drive – Only exit for Leake Street to Hands Ave area 	<p>'Relocation of Hands Ave would be subject to further design of this intersection.</p> <p>Traffic studies have shown that traffic signals at Hands Avenue would be too close to Hamilton Road roundabout and cause high level of congestion through the roundabout during peak times. Signals at Hands Avenue would not be support by MRWA.'</p>
*	<p>Hamilton Road / Eaton Drive</p> <ul style="list-style-type: none"> • Finds Hamilton Road Roundabout confusing when turning right • Happy with Ann Street Connection to Hamilton Road • Left turn vehicles from Hamilton Road at roundabout don't stop for traffic in roundabout <p>The 'Connect' online engagement registered one 'up' vote in favour of improving the drainage capacity of Hamilton Road near Hale Road.</p>	<p>'The proposed treatment for Hamilton Road roundabout will include "Spiral" type line marking, which will ensure vehicles remain in their correct lanes and exit from the correct lane whilst turning at the roundabout.</p> <p>Ann Street connection to Hamilton Road will assist with traffic in the Pratt road area accessing Eaton Drive, rather than using Hands Avenue.'</p>
*	<p>Blue Wren Drive / Eaton Drive</p> <ul style="list-style-type: none"> • Build Blue Wren Roundabout immediately 	<p>'The design and approval for a roundabout at Blue Wren Drive and Eaton Drive is construction ready. The shire is waiting for a</p>

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
		<p>suitable funding opportunity to program construction.'</p> <p>Note from October 2021 – On the amended Plan, this is shown as the Eaton Drive / Lavender Way Roundabout.</p>
*	<p>Peninsula Lakes Drive / Eaton Drive</p> <ul style="list-style-type: none"> Wants Roundabout at Peninsula Lakes Drive Now – Trouble turning right at the moment 	<p>'Any changes to Eaton Drive Peninsula Lakes Drive intersection will be driven by vehicle growth and safety. At this stage there are longer term plans for signals at this intersection, subject to future traffic modelling.'</p>
*	<p><i>Letter dated 26/5/2021</i></p> <p>RE: Proposed Future Intersection to Eaton Drive and old Lot 500</p> <p>I am writing in response to your Agenda Item for the Council Meeting today 26/5/2021 regarding the Proposed Intersection changes to the Roundabout and other Works.</p> <p>With regard to the Proposed Future Intersection from Eaton Drive and the old Lot 500 as shown in the Agenda and the Attachment.</p> <p>On behalf of the Owners of Culling Grove we object to the location of this proposed Intersection and future Council Drive and request that our views are noted and considered in any discussions.</p> <p>Initially this was proposed to be an Access Way on earlier proposals submitted by the Developer and never really clearly detailed but rather sneakily noted on Site Plans. Given that</p>	<p>'A copy of this correspondence was provided to councillors at the Council Meeting held on 26/5/2021, however, was not read aloud as [the respondent] was not in attendance.</p> <p>The WAPC approved the Eaton Fair Activity Centre Activity Amendment No. 1 SPN/2019M-1 on 13/7/2020:</p> <p>As per the approved Activity Centre Plan, the shared access way to be:</p> <p>i. developed as a high standard roadway that is capable of widening, if necessary, to accommodate future traffic growth consistent with the Traffic Impact Assessment, and to the standards and</p>

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
	<p>Council Drive will potentially be re-routed this Road will become a major through road into the Shopping Centre and Recreation Drive.</p> <p>This will see the Security and amenity to our Properties compromised with increased traffic noise all hours of the day and night along with any extended shopping hours and deliveries in any future development of this site.</p> <p>Kind Regards,</p> <p>[Name withheld]</p>	<p>specifications of the design required for a road of this classification and type; and</p> <p>ii. protected by a public access easement in perpetuity, which provides access to parking areas and facilities associated with the sports oval, Shire offices and commercial areas.'</p>
	<p>General Comments</p>	
<p>*</p>	<p>Eaton Drive</p> <ul style="list-style-type: none"> • Concerns about slowing traffic down on Eaton Drive with all proposed traffic signals • Very difficult to cross Eaton Drive for elderly and disabled <p>Road noise has increased by quite a bit from Eaton Drive and sound from the highway. Please look at ways of reducing this with additional vegetation, road sealing and sound absorbing features (* from 'Connect' online engagement)</p>	<p>'A Cardno traffic study has determined that the average speed reduction on Eaton Drive will likely be 2-4kph, from 56kph to 52kph.</p> <p>Installation of signals at Glen Huon / Eaton Drive intersection will provide pedestrian phases for safe, controlled crossing at the signals. Signals at this intersection will also provide breaks in the traffic on Eaton Drive which would allow gaps for pedestrians to cross mid-block.</p> <p>Regarding noise, some additional roadside infill planting is planned along Eaton Drive, which will assist in noise attenuation in some specific areas. No additional features that could assist in reducing road noise are proposed at this point in time.'</p>

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
*	<p>Council Drive</p> <ul style="list-style-type: none"> • Wants new Council Drive alignment immediately • I think it is important that access to the carpark that is on Eaton Drive and the Council Avenue is still accessible from the roundabout (from 'Connect' online engagement) 	<p>'The closure and construction of the new alignment for Council Drive will be undertaken when the shopping centre expands in accordance with the endorsed Eaton Fair Activity Centre Plan.'</p>
*	<p>General</p> <ul style="list-style-type: none"> • Delivery Truck driver wanted to know if anything will affect him 	<p>'There are no plans to reduce the access to shops or businesses on Eaton Drive.'</p>
Agency / other stakeholder responses		
	<p>Citygate (Eaton Fair Shopping Centre) 'Thank you for your email in relation to the Draft Eaton/Millbridge Community Facilities Plan.</p> <p>We have the following comments and queries in relation to the plan:</p> <ol style="list-style-type: none"> 1) All plans provided appear to crop off the northern aspect of the approved Eaton Fair Activity Centre plan where the car park, townhouses and northern entry to the shopping centre will be located. Can you please add this in to the plan. 2) It is unclear whether the median strip will be upgraded for the entire length of Eaton Drive from Recreation Drive through to the Forrest Highway. Eaton Fair contributes some \$29,557.59 per annum to the Shire of Dardanup "Eaton Landscaping" Levy, despite undertaking all of our own landscaping as well as reticulation of council verges / median strips around the Shopping Centre. We have frequently requested that this levy be utilised for the median upgrades of Eaton Drive given this is the main entry to the Town Centre and presents well below the standard expected for such an entry. 3) Location 41 indicates a signalised intersection at Hands Avenue, which we understood was to be removed in place of a similar option at the new Watson Street intersection. Could you please provide further information on this? It is unclear if this involves the removal of the Hamilton Road roundabout. 	<p>A response was sent to Citygate in answer to their queries as per below:</p> <p>Comment 1 will be able to be readily accommodated in the amended Plan.</p> <p>Comment 2</p> <p>For work on parks in Eaton and Millbridge, the Shire collects a Landscaping Levy from all ratepayers in Eaton and Millbridge as part of their annual rates notice.</p> <p>A portion of this is used for maintenance and a portion is put away for capital works, such as upgrading the median strip of Eaton Drive.</p>

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Comment no.	Submitter Comment	Officer Comment
	<p>4) In relation to (3), if the Hamilton Road roundabout were to be removed it would cause issues in relation to Kmart delivery vehicles gaining access to their loading dock. Either way, if there was a roundabout added at Glen Huon Boulevard this problem would be solved and it would also provide access for northbound customers to '180 back' to enter the future 'left in' access way to the north of the Eaton Fair Activity Centre plan area.</p> <p>If you have any questions in relation to the above, please let me know.</p> <p>Regards, Michael Prosser Citygate</p>	<p>The upgrade of the median strip up to Forrest Hwy is already in our forward plans, and also shown on the draft Plan.</p> <p>We will make this clearer on the amended version of the Plan.</p> <p>Comments/queries 3 and 4</p> <p>The draft Eaton/Millbridge Community Facilities Plan was approved for public consultation by Council on 31 March 2021 (Council Resolution 52-21), which contained the proposed signalised intersection at the Hamilton Rd intersection. So this is what was sent out to the public for comment.</p> <p>Subsequently, Council approved a change to the proposed strategic intersection treatments at its meeting on 26 May 2021 (Council Resolution 145-21), which now includes modifying the existing roundabout at Hamilton Rd, rather than turning it into a signalised intersection, and relocating the Hands Avenue intersection away from the Hamilton Rd roundabout. This change was a result of feedback received from Main Roads on the proposed intersections treatments</p>

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
		<p>along Eaton Drive (a separate process to the Community Facilities Plan).</p> <p>As such, Council's current position is to retain the roundabout at Hamilton Rd and not install a signalised intersection.</p> <p>Regarding Glen Huon Boulevard, the Shire is currently going through the Main Roads approval process with the intent of installing a signalised intersection at this intersection, however, Main Roads has not yet provided approval.</p>
	<p>Aqwest Letter dated 9 July 2021, received by email: Please be advised that Aqwest has no comments in relation to the above matter.</p>	
	<p>Main Roads Response dated 7 July 2021, received by email: I refer to your email below and advise that Main Roads has no objection to the proposed community facilities plan subject to the following comments.</p> <p>It is noted that the plan suggests a mountain bike track could be located in the Forrest Highway Road reserve.</p> <p>This section of the highway road reserve is reserved for a future grade separated interchange with Hynes Road and Forrest Highway.</p>	<p>Ensure that comments are taken into consideration in any proposed or possible future projects relating to a Main Roads road reserve.</p> <p>It is recommended that any such projects are referred to Main Roads in the early stages for comments and an indication of likely approval; also that Main Roads approval is obtained for any relevant projects.</p>

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
	<p>The land is owned by Main Roads, hence approval will be required from Main Roads for any possible temporary use of the road reserve area.</p> <p>Also, any approval for temporary use of the road reserve would be subject to the Shire undertaking liability for the use and removing any works as necessary as and when required in the future by Main Roads.</p> <p>It is noted that the Community plan report suggests future upgrading of the Eaton Drive intersection to provide two left turn out lanes.</p> <p>Future upgrading of the Eaton Drive intersection with Forrest (Highway) will be addressed by Main Roads depending on traffic demands and availability of funding.</p> <p>Also, it is noted that the Community plan report suggests possible upgrading of the Entry statement at Eaton Drive.</p> <p>Detailed designs for upgrading the entry statement would need to be referred to Main Roads for approval.</p> <p>Main Roads would not support development of an entry statement in the Forrest Highway reserve.</p>	
	<p>Department of Planning, Lands and Heritage Letter dated 22 July 2021, received by email: 'Thank you for your email of 29 June 2021 regarding the 'Draft Eaton/Millbridge Community Facilities Plan'. We thank you for the opportunity to provide comments on the proposal. However, as there are no State Heritage Registered Places within the area, or places identified warranting assessment by the Heritage Council, we decline to provide comment.' Adelyn Siew Director Heritage Development 22 July 2021</p>	Noted.
	<p>Department of Water and Environmental Regulation 22 July 2021</p>	Note that upon Shire officer enquiry, DWER provided additional information on

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Comment no.	Submitter Comment	Officer Comment
	<p>Our Reference: PA 042973 , DWERT50~56</p> <p>Thank you for providing the draft 'Eaton-Millbridge Community Facilities Plan' (dated 10/03/2021) for the Department of Water and Environmental Regulation (Department) to consider.</p> <p>The 'List of Projects' at the bottom of this email have been taken from the above draft Plan and are provided at the bottom of this email for your convenience and future reference.</p> <p>The Department has identified that some of the proposed projects have the potential for impact on the environment and water resources, with the following key issues being identified against each project:</p> <ul style="list-style-type: none">• Acid sulphate soils: 1, 5, 6, 7, 34, 35, 36 and 49 (may include 12 and 40 if there is sufficient ground disturbance)• Contaminated Sites: 2, 3 , 27 and 49• Stormwater management: 9, 11, 24, 35, 36, 45, 46 and 47• Flood: 5, 6, 17, 24, 25, 26, 28, 29 and 34• Water availability: 18, 20, 21, 22, 23, 25, 26, 29, 30 and 50• Native vegetation clearing: 10, 22 and 38• No water or environment issues identified: 4, 8, 13, 14, 15, 16, 19, 31, 32, 33, 37, 39, 40, 41, 42, 43, 44, 48 and 51 <p>Further detail is described below against each of the above key issues:</p> <p>Acid sulphate soils</p> <p>Acid sulfate soils (ASS) risk mapping indicates that most of project area is located within an area identified as representing a 'low to moderate' risk of ASS occurring within 3 metres of the natural soil surface (orange shaded areas in Screenshot 1). Much of the wetlands and waterways foreshore areas are in a high to moderate risk of ASS occurring within 3 metres of</p>	<p>23/07/2021 which has been included in their recorded comments in this table. Both responses are saved in the Shire's document management system.</p> <p>It is recommended to refer projects which have been identified by DWER as having potential issues, to them as per their request.</p>

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Comment no.	Submitter Comment	Officer Comment
	<p>the natural soil surface (red shaded area in Screenshot 1). As such, acid sulphate soils risks are relevant to Projects 1, 5, 6, 7, 34, 35, 36, 40 and 49 as ground disturbing works and dewatering are likely to occur, which poses an acidification risk that can impact infrastructure and groundwater quality. Projects 12 and 40 may be included for consideration if there is substantial ground disturbance in the “moderate to high’ ASS areas in which these projects are located.</p> <p>Shallow ground disturbing works in ‘moderate to high’ risk of ASS areas can pose an acidity risk to the surrounding environment.</p> <p>These projects should be referred to the department for comment if during construction:</p> <ul style="list-style-type: none">• dewatering will occur• excavation will occur below groundwater• excavation of more than 100 cubic meters is proposed <p>Contaminated Sites</p> <p>As Projects 2, 3, and 49 are adjacent to a ‘Possibly contaminated - investigation required’ (CSS_SITE_ID - 1535), with Project 27 being directly located over this site, these projects would be of interest to the Department for comment – in particular that ground disturbing works would occur that may interfere with potential contamination.</p> <p>Stormwater management</p> <p>The proposed developments under Projects 9, 11, 24, 35, 36, 45, 46 and 47 have water quality considerations particularly from ground disturbing activities with construction works where nearby waterbodies can be impacted.</p>	

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Comment no.	Submitter Comment	Officer Comment
	<p>This does not trigger a need for these projects to be referred to the Department for comment, however it is recommended that stormwater is managed in accordance with the:</p> <ul style="list-style-type: none">• <i>Decision process for stormwater management in WA</i> (DWER 2017)• <i>Interim Position Statement: Constructed Lakes</i> (July 2007) <p>Flood</p> <p>Our GIS shows the area covered by Projects 5, 6, 17, 24, 25, 26, 28, 29, 34 are affected by flooding during major events in the 1 in 100 (1%) annual exceedance probability (AEP) flood event as seen in Screenshot 2. This data can be accessed at the following location: (link provided)</p> <p>These projects should be referred to the department for comment.</p> <p>Water availability</p> <p>Projects 18, 20, 21, 22, 23, 25, 26, 29, 30, 50 are land uses that are likely to require an irrigation water supply.</p> <p>Depending on the source of water that is proposed to be used there may be licencing requirements under the <i>Rights in Water and Irrigation Act 1914</i>.</p> <p>These projects should be referred to the department for comment.</p> <p>Native vegetation clearing</p> <p>Under section 51C of the <i>Environmental Protection Act 1986</i> (EP Act), clearing of native vegetation is an offence unless undertaken under the authority of a clearing permit, or the clearing is subject to an exemption. Exemptions for clearing that are a requirement of written law, or authorised under certain statutory processes, are contained in Schedule 6 of the EP Act. Exemptions for low impact routine land management practices outside of</p>	

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
	<p>environmentally sensitive areas (ESAs) are contained in the <i>Environmental Protection (Clearing of Native Vegetation) Regulations 2004</i> (the Clearing Regulations).</p> <p>In the event any clearing is proposed at the development stage for Projects 10, 22, and 38, a permit to clear native vegetation should be submitted to the department.</p> <p>No water or environment issues identified</p> <p>The department has deemed that a number of projects 4, 8, 13, 14, 15, 16, 19, 31, 32, 33, 37, 39, 40, 41, 42, 43, 44, 48 and 51 to have negligible impact on water resources or the environment.</p> <p>These do not need to be referred to the department for comment.</p> <p>Daniel Wong Environmental Officer Department of Water and Environmental Regulation Planning Advice South West Region</p>	
	<p>Water Corporation Provided advice by phone call on 20/07/2021 that they have received funding to construct a main line under the road near the Eaton Drive / Hamilton Road intersection, plus a Pressure Relief Valve (caged, with maintenance car bay). Lucy Allen from Water Corp requested a meeting with Shire Officers.</p>	<p>Matter referred to Shire Development Engineer who is liaising with the Water Corporation on this matter.</p>
	<p>ATCO Gas Our Reference: LM21285 Thank you for your recent correspondence regarding the above mentioned Draft Community Facilities Plan for Eaton and Millbridge within the Shire of Dardanup (the Shire).</p>	<p>Noted.</p>

(Appendix ORD: 12.3.1B)

Comment no.	Submitter Comment	Officer Comment
	<p>ATCO Gas Australia Pty Ltd (ATCO) has <i>no objection</i> to lodge with the Shire for the proposed Community Facilities Plan (the Plan) for the nominated area within Eaton and Millbridge. ATCO has gas mains and infrastructure within the proposed area of the Plan. For any proposed upgrades to intersections, ATCO can be contacted via the Dial Before You Dig system for initial investigations as to the location of our assets. I have assessed the Draft Plan and it appears that there will be no immediate impact on the area of our High Pressure Network. Should the Shire make any amendments to the proposed Plan please do not hesitate to contact ATCO and we can work with the Shire and your contractors to ensure works can progress safely. Should you have any queries regarding the information above please contact us on 6163 5000 or eservices@atco.com</p> <p>Fiona Snellin Land Management and Project Coordinator ATCO, Gas Division, Australia</p>	

Late submissions

Two submissions were received after the consultation closing date of 9 August 2021. These are shown below for consideration:

1. From WA Department of Jobs, Tourism, Science and Innovation – ‘No comments to provide at this time.’
2. From the Department of Fire and Emergency Services (DFES):

‘I refer to your email dated 29 June 2021 in relation to the referral of a Community Facilities Plan for Eaton/Millbridge.

It is unclear from the documentation provided if the Shire of Dardanup has applied *State Planning Policy 3.7 – Planning in Bushfire Prone Areas (SPP 3.7)* to this proposal.

Exemptions from the requirements of SPP 3.7 should be applied pragmatically by the decision maker and are identified in Planning Bulletin 111/2016.

Should you apply SPP 3.7 then, we request the relevant information pursuant to this policy be forwarded to DFES to allow us to review and provide comment prior to the Shire’s endorsement of the Community Facilities Plan.

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If there is some other reason which has given you cause to consider a referral to DFES, could you please provide detail on the attached 'Referral to DFES Checklist'. *(provided)*

Please do not hesitate to contact me if you have any further queries regarding this response.

Kind regards,

Richard Trinh

Senior Land Use Planning Officer | Land Use Planning'

Officer comment with respect to DFES comments above – it is recommended that discrete projects requiring referral to DFES utilise the checklist provided by them as part of the planning and investigations phase for that project.

Invitations to comment

In addition to those agency stakeholders identified in the above table, the following groups were provided with a copy of the draft plan and invited to provide feedback, but comments were not received:

- Greater Bunbury Aboriginal Elders Group
- Alinta energy
- Australind Police station
- City of Bunbury
- The Department of Biodiversity, Conservation and Attractions (DBCA)
- Public Transport Authority
- National Trust of WA
- St John Ambulance
- Eaton Community College
- Eaton Primary School
- Glen Huon Primary School

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Social Pinpoint 'Likes' and 'Dislikes'

Voting outcomes with 'Likes' being votes in favour of a particular proposed improvements and 'Dislikes' being votes against it.

Proposals have been ranked in order of popularity on the basis of 'net likes' with the highest number of 'net likes' shown first.

Item	No. of 'Likes'	No. of 'Dislikes'	'Net' no. of total 'Likes'
Glenhuon Boulevard: Signalised intersection	2	0	2
Hamilton Road - near Hale Road: Improve drainage capacity	1	0	1
New tennis courts at Eaton Bowling Club	1	0	1
Collie River Foreshore, Parkridge: Stage 1 - Establish new public open space	1	0	1
Collie River Foreshore, Parkridge: Stage 2 - Establish new public open space	1	0	1
Future public open space areas – by respective Developer	1	0	1
Collie River Foreshore, Millbridge/Southbank: Establish new public open space	1	0	1

Please refer to the comparison table between the draft advertised Plan from March 2021 and the amended Plan of October 2021 for details of proposed changes that are a result of adjustments to the Shire's Asset Management Plans and the outcomes of community engagement.

(Appendix ORD: 12.3.1C)



PLAN REPORT

EATON-MILLBRIDGE COMMUNITY FACILITIES PLAN October 2021

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Document Control

Version No	Version Date	Description
1.0	10 March 2021	Draft Plan Report to Council
2.0	7 October 2021	Final Plan Report to Council

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1. Executive Summary

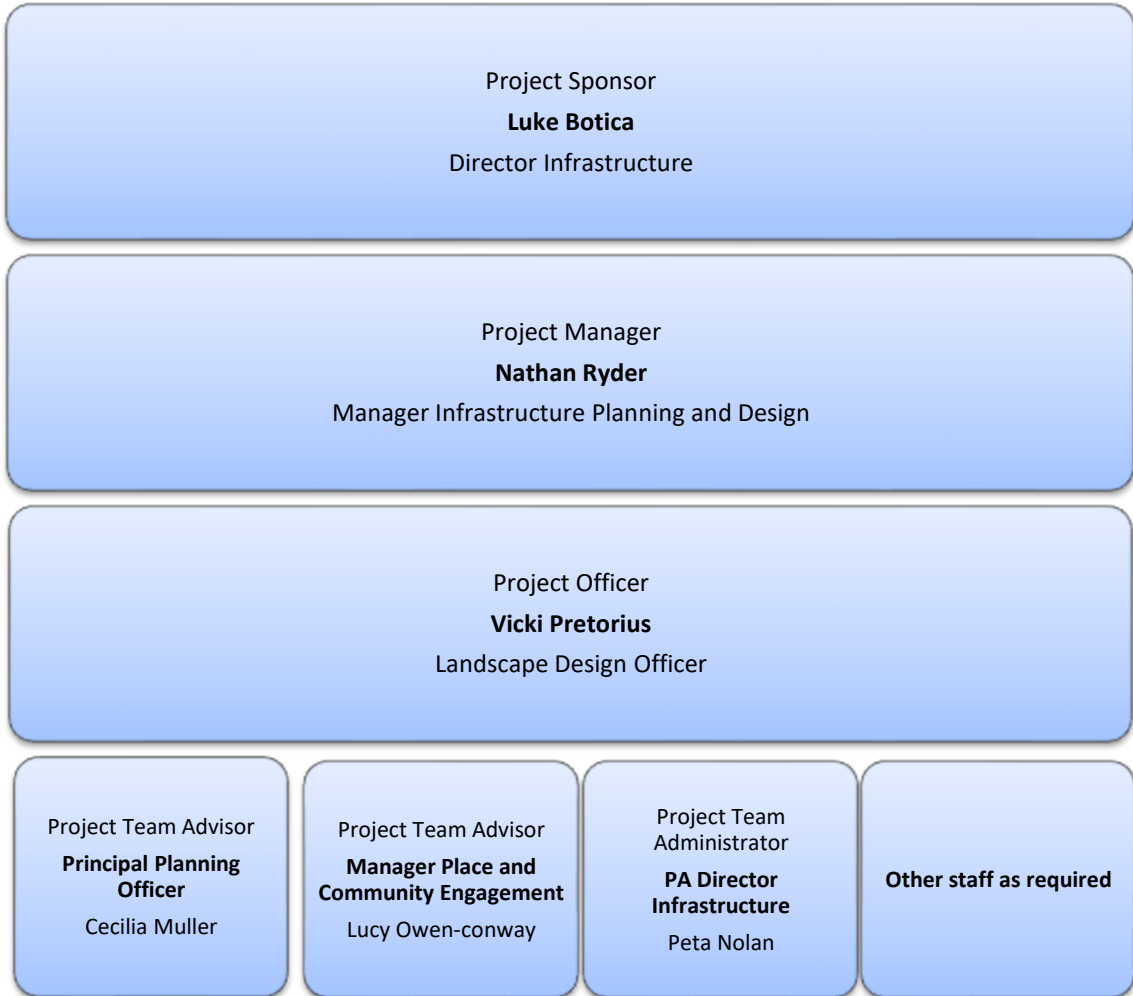
The Eaton-Millbridge Community Facilities Plan (The Plan) provides advice on the immediate, short, medium and long term community facilities to be considered in the Shire's forward plans as well as future opportunities which may require the cooperation of an external authority. The Plan has been prepared following assessment of existing facilities together with consideration of proposals contained within the Shire's existing Ten Year Asset Management Plans (AMP's), following review and feedback from the local Eaton Advisory Group.

The Plan was reviewed and amended as required by Shire staff following community and agency stakeholder consultation in the first half of 2021 and is presented to Council as the final version for endorsement. This version of the report has been updated with further detail and accompanies the October 2021 amended version of The Plan.

The final Plan is attached at [Appendix D](#).

2. Project Team

The following chart provides the project personnel structure:



THIS REPORT IS APPROVED FOR USE		
Name	Signature	Date

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3. Project Details

3.1 Background

The aim of this study was to produce the Eaton-Millbridge Community Facilities Plan and Report.

The final Plan provides a visual representation of all current and proposed facilities that were a result of the research and community consultation undertaken in the study. The Plan provides advice on the immediate, short, medium and long term community facilities to be considered in the Shire's forward plans as well as possible future opportunities. The October 2021 Plan documents projects which are already included in the Shire's Asset Management Plans as well as projects which might require the cooperation of an external agency or group to implement.

For the purposes of this project, the term 'facilities' is inclusive of all Shire assets and infrastructure, including buildings, formal recreational amenities, community playgrounds, public artworks, tourist amenities, paths, roads, drainage systems, precinct signage, lighting and other public amenities; as well as green spaces such as public open space, environmental corridors, trails and other nature spaces, and streetscapes. The terms 'facilities plan' and 'master plan' can be considered to be interchangeable in this regard.

The accompanying report provides the textual component of The Plan, and includes detailed information illustrating how background research, sound planning principles and best practice asset management underpin the recommended facilities. This report provides a link between information derived from the community consultation process and the resultant Community Facilities Plan.

The culmination of the works undertaken provides the Shire of Dardanup with a researched summary of community and stakeholder expectations together with proposals for community facilities and other improvements that are based upon the study, together with best planning and financial practices. The resulting plan seeks to encourage visitors from both within and outside the Eaton-Millbridge community and to support local economic growth as well as community development.

While there are notable commercial facilities included in the subject area, these have been referenced only in terms of existing footprint and possible current plans for future expansion where known, but further details for these are not included as they are not Shire-provided or managed facilities and are not included in the Shire's Ten Year Asset Management Plans.

The Shire of Dardanup's '2050 Vision' document describes Eaton-Millbridge as follows:

'A commercial hub with a harmonious mix of growth and rich natural assets.

Eaton - Millbridge (with a population of about 10,000) houses the majority of the Shire's population and includes the commercial hub within the Eaton Activity Centre. Eaton boasts beautifully maintained parks, picnic facilities, reserves, ovals and public open spaces plus a variety of picturesque natural wonders like the Collie River Valley, drawing people to the outdoors.

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The pace of growth points to a bright future, while natural assets and a commitment to lifestyle create harmony. This has attracted a uniquely diverse population made up of young people, couples, retirees, families and seniors.

The Shire of Dardanup's main Administration building is located within the Eaton Activity Centre which also includes the Eaton Fair Shopping Centre, Eaton Recreation Centre, Eaton Community College and Sporting facilities including a Senior Football Oval and Club. Council's plans for a new Eaton Civic Precinct, will create a thriving community hub, and will include a new civic building with co-located community library and administration centre, Makerspace centre, meeting rooms and expanded recreation facilities including a new skate park and new basketball courts.

Supporting and reinvigorating Eaton's appeal for further investment, while providing a catalyst for wider economic growth within the shire and surrounding Bunbury Geographe region. The Shire of Dardanup is committed to supporting and encouraging its residents of all ages, from children to seniors, to be more active.

Shire facilities include the Eaton Recreation Centre which boasts modern gymnasium equipment plus indoor basketball/netball courts, crèche, meeting rooms and a cutting-edge group fitness program for adults and children alike. Plans to expand the centre into a high performance sport centre is underway.

The Eaton Fair Shopping Centre includes major supermarkets and retailers plus more than 75 specialty shops and a planned cinema complex.

Residential estates provide quality options for modern suburban living while infrastructure including two primary schools, a high school, medical specialists and two over 55 aged care facilities cater to the diverse needs of the growing community.

Eaton will continue to grow and attract residents keen for a harmonious lifestyle and will also be an important hub for the early stage development of the City of Wanju.'

3.2 Strategic Alignment

The Eaton-Millbridge Facilities Plan project meets the following objectives of the Shire of Dardanup Strategic Community Plan:

Strategy 2.3.1 - Continue to implement integrated environmental, social and land use planning which meets diverse community needs. (Service Priority: Very High)

Strategy 2.5.1 - Develop, review and implement Townscape Plans. (Service Priority: High)

Strategy 2.6.1 - To provide a variety of places to live, work and play that meet the current and future needs of the community. (Service Priority: Very High)

Strategy 4.1.4 - To provide essential infrastructure: Facilitate the provision of essential services and infrastructure to support the growing community and local economy. (Service Priority: High)

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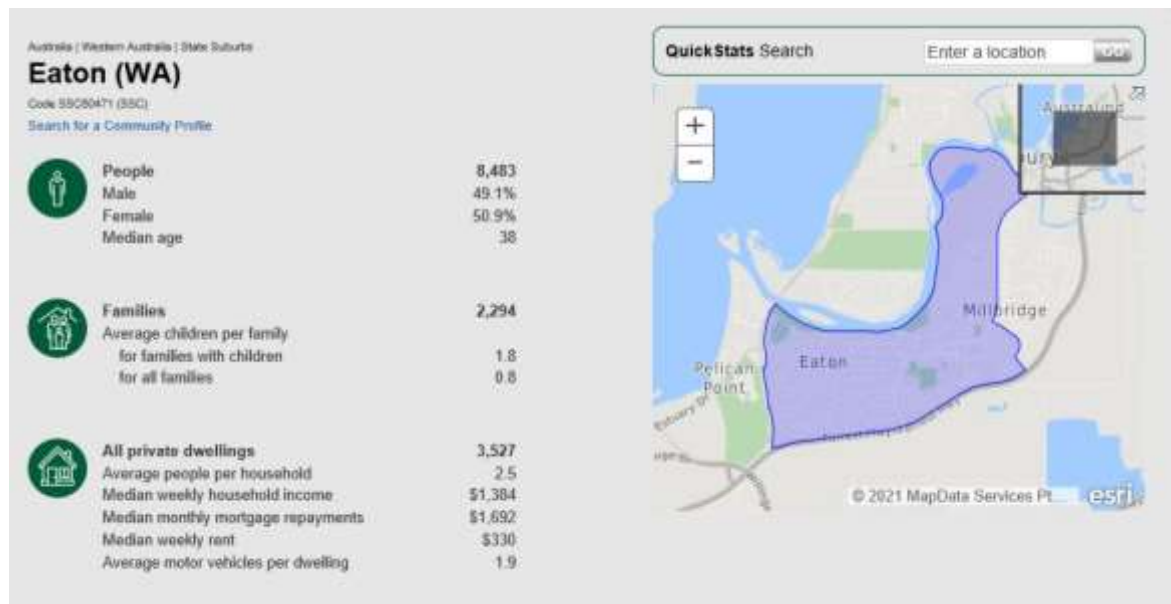
3.3 Population & Demographic Growth

Facilities within the defined study area serve the interests of both those living in the Eaton-Millbridge areas as well as those residents from other localities within the Shire and from other local government areas including the Shire of Harvey and City of Bunbury.

Facilities within the Eaton-Millbridge area support a range of functions including commercial, postal, educational, sporting / recreational and other social / cultural aspects. The target population has been defined accordingly. The final Plan takes into consideration the needs and wishes of all those who are considered to be project stakeholders, with amendments to the Plan based on feedback received through the community and stakeholder engagement process.

At the time of finalising this report, details from the August 2021 Australian Census were not yet available.

The Australian Bureau of Statistics (ABS) 2016 Census provided the following summary information on the separate Eaton and Millbridge areas:



(Appendix ORD: 12.3.1C)



The ABS 2016 Census revealed the combined Eaton-Millbridge localities to have at that time a total combined population of 10,880 people with 78% living in Eaton and the 22% living in Millbridge. There were 2,955 families identified as living in the overall Eaton-Millbridge area and 4,393 private dwellings.

(Source: ABS 2016 Census QuickStats)

Summary population forecasts from Forecast ID for Shire of Dardanup areas, based on ABS data, are included below. Based on this, the greatest increase in population between 2016 and 2041 is projected to be a 1.08% average annual increase in Eaton (East) – which includes the Parkridge subdivision areas – closely followed by Millbridge, with a projected 1.07% increase. Eaton (West), known locally as ‘old Eaton’, is project to only have a marginal average annual population increase of 0.33% in this time period.

Population summary							export	reset
Shire of Dardanup	Forecast year						Change between 2016 and 2041	
Area	2016	2021	2026	2031	2036	2041	Total change	Avg. annual % change
Shire of Dardanup	14,390	14,969	15,988	17,980	20,728	24,097	+9,707	+2.08
Burekup and District	1,541	1,526	1,541	1,595	1,710	1,856	+315	+0.75
Dardanup - Picton East and Surrounds	1,602	1,584	1,626	1,831	2,076	2,317	+715	+1.49
Eaton (East)	4,379	4,388	4,911	5,265	5,583	5,725	+1,346	+1.08
Eaton (West)	4,339	4,318	4,377	4,460	4,565	4,711	+372	+0.33
Millbridge	2,459	3,084	3,320	3,287	3,236	3,211	+752	+1.07
Wanju	70	69	213	1,541	3,558	6,278	+6,208	+19.70

Source: Population and household forecasts, 2016 to 2041, prepared by [id](#) (informed decisions), October 2018.

This summary data also tells us that in 2021, the projected combined population of Eaton-Millbridge is 11,790, with East Eaton housing 29.3% of the overall Shire population, West Eaton housing 28.8% and Millbridge housing 20.6%. Overall the combined Eaton-Millbridge area in 2021 is shown to hold a summary total of 78.8% of the Shire population.

(Appendix ORD: 12.3.1C)

This is project to change by 2041, when the development of Wanju is projected to house 6,278 people – equating to just over 26% of the forecast overall Shire population of 24,097. At that time, the combined Eaton-Millbridge study area is projected to house 13,647 people, which will equate to 56.6% of the forecast overall Shire population.

3.4 Existing Community Facilities and Environmental Areas

The main existing facilities within the study area are located on the draft Plan.

Condition assessments of existing facilities are routinely undertaken by Shire Assets staff and will be referenced in any planning and design of proposed and future improvements.

The key facilities within the Eaton-Millbridge area include:

Buildings / civic facilities – including recreational facilities

- Shire Administration Centre, Eaton
- Eaton Depot (old)
- Eaton Recreation Centre
- Eaton Skate Park
- Eaton Community Library
- Eaton Family Centre, Charterhouse Street
- Eaton Hall, Pratt Road – used by local Repertory Club for activities
- Eaton Bowling Clubrooms
- Eaton Senior Citizens Centre
- Eaton Bushfire Brigade building
- CWA Hall, Eaton
- Eaton Oval – Pratt Road sporting precinct – including sports pavilion, tennis clubrooms, hard courts (as at 2021 this includes basketball and tennis)
- Glenhuon sporting precinct – including football and softball pavilions and fields
- Eaton Activity Centre (large private commercial enterprise)
- Smaller private commercial activity centres on Pratt Road and Crampton Avenue
- Public toilets – Eaton Foreshore, Watson Reserve

Roads and streetscapes

- Major internal distributor roads including Eaton Drive, Hamilton Road
- Other key internal circulation roads e.g. Pratt Road, Glenhuon Boulevard, Millbridge Boulevard and Illawarra Drive
- All other roadways, laneways, pathways and streetscapes within the study area – including roundabouts, verges and street trees (included in parks and reserves asset management plans_

Parks and reserves – including public open space, environmental areas and tourist attractions

Note that the Shire's draft Open Space Levels of Open Space Provision document provides further detail on an assessment and recommendation for future planning for open space areas. Facilities provision in each of the Shire's parks and reserve should be congruent with recommendations in the Open Space Provision levels of service.

(Appendix ORD: 12.3.1C)

Eaton:

- Bethanie Pond
- Castlereagh Park
- Charolais Mews
- Charterhouse Reserve
- Cleveland Bay Reserve
- Duck Pond Reserve
- Eagle Wetland Reserve
- Eaton Foreshore
- Eaton Oval Reserve
- Elbow Wetlands Reserve / Eelup Reserve
- Evolve Park
- Finch Way Reserve
- Glen Huon Oval
- Gromark Park
- Hands Avenue (creek)
- Hale Reserve
- Illawarra Park
- Leicester Reserve
- Lofthouse Park – includes playground
- Lusitano Park
- Marri Reserve
- Peninsula Lakes Park
- Pratt Road Reserve – sensitive environmental area with remnant bushland
- Sindhi Park
- Watson Reserve
- Wunditjch Reserve
- Verges (various)

Millbridge:

- Avon Park
- Beaufort Loop Park
- Berkeley Park
- Cadell Park
- Chamberlain Park
- Gary Engel Park
- Gascoyne Park
- Greenough Park
- Hazelgrove Reserve
- Hunter Park
- Isaac Park
- Millars Creek Reserve – north and south
- Millbridge Park – various small parks including Hatfield Way, Cygnet Ct, Wilmot Ct

(Appendix ORD: 12.3.1C)

- Ord Park
- Primrose Vista Park
- Reserve 50667 (south of Duncan Loop)
- Reserve 50867 (informal name – East Millbridge Public Open Space / Denison Link)
- Torrens Loop Park

Note that while several of the above reserves are to be included in the Kalgulup Regional Park which parts of will be managed by DBCA, they have been shown on the Plan as they provide valuable opportunities to the community including facilities.

Some of the reserve areas are classified as having a higher bushfire risk and any proposed facility improvements in or near these areas will require special considerations and may be subject to restrictions. Project referral to DFES may be required in these instances, on a case-by-case basis.

Environmental areas

The Eaton-Millbridge area includes environmentally sensitive reserve areas, which have been identified below and are the subject of Natural Area Resource Management (NARM) plans:

- Hale Road Reserve, Eaton
- Charterhouse Reserve, Eaton
- Pratt Road Reserve, Eaton
- Eagle Wetland Reserve, Eaton
- Duck Pond Reserve, Eaton
- Marri Reserve, Eaton
- Lofthouse Reserve, Eaton
- Wunditjch Reserve, Eaton
- Watson Reserve, Eaton
- Leicester Wetlands Reserve, Eaton
- Millars Creek Reserve – South, Millbridge
- Millars Creek Reserve – North, Millbridge
- Cleveland Bay Wetland Reserve, Eaton (Crown land, dual management)
- Collie River Foreshore (no NARM in place but is managed by the Shire for environmental conservation and restoration reasons)

In addition to the above reserves, in the far northern corner of the study area a large wetland reserve, known as the Elbow Wetlands (Eelup Reserve), adjoins the Collie River just west of the Parkridge subdivision expansion zone. This area is within the floodplain and is difficult to access. It is classified under State legislation as a wetlands of significance, as it provides refuge for migratory birds and other local native flora and fauna. This ecosystem should be subject to special protective considerations.

The Elbow wetlands, the wetland south of Watson reserve, parts of Pratt road reserve and the Collie River Foreshore are included in the areas of the new Kalgulup Regional Park, are jointly managed under the CALM Act as part of the Kalgulup Regional Park, and jointly managed for community use and conservation by the Department of Biodiversity, Conservation and Attractions (DBCA) and local government.

(Appendix ORD: 12.3.1C)

While these areas are primarily managed by DBCA, it is important to consider any potential environmental impacts when planning for all proposed and possible future projects within the Shire, and to protect and preserve any environmentally sensitive areas as a high priority wherever possible.

The Collie River foreshore falls within the jurisdiction of the Shire of Harvey, however the southern bank is managed by the Shire of Dardanup, for day to day asset and local government management, including foreshore rehabilitation and erosion control.

Coastal improvement projects for ongoing management and asset protection such as the Collie River Masterplanning Stabilisation Project and the Peron Naturaliste Partnership current Coastal Hazards Risk Management and Adaptation Plan (CHRMAP) project, span the river and shoreline zone. These are managed in partnership with City of Bunbury, Shire of Harvey and State government – DBCA, Department of Water and Environmental Regulation (DWER) and Department of Transport. They look to monitor and assess climate change risks and potential mitigation initiatives for future planning, development and asset management.

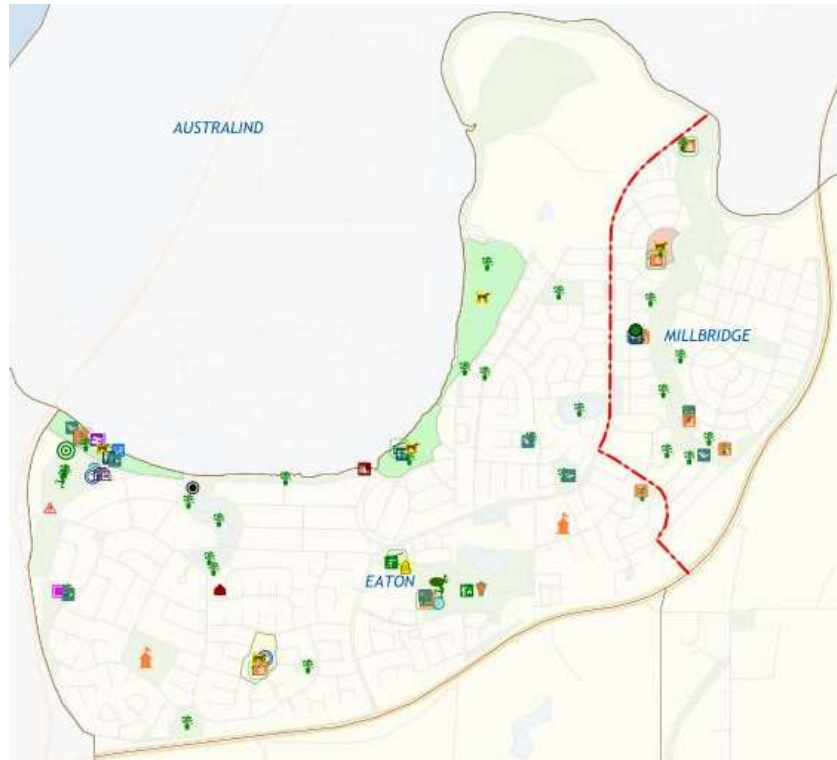
3.5 Project Boundary

The overall study area is bounded to the north by the Collie River, to the east and south by the Forrest Highway and to the west by the Old Coast Road. The geographical boundary of the study area is shown below outlined in red.



Most of the study area falls within the ABS defined area of Eaton, shown to the left of the red dashed line in the map below. Millbridge is the smaller ABS defined area located east of Eaton Drive and north of Illawarra Drive. Both of these areas are represented by the overall Eaton Advisory Group.

(Appendix ORD: 12.3.1C)



3.6 Scope and Deliverables

A Project Team was formed to undertake the following deliverables. The outcomes of each deliverable is outlined below:-

3.6.1 Assess existing plans and documentation

Plans and policies affecting the study area were considered in the development of the Plan. These included the following:

- The Shire of Dardanup Vision 2050;
- The Shire of Dardanup Strategic Community Plan 2018-2028;
- The Shire of Dardanup Sport and Recreation Plan 2020-2030;
- The Eaton Foreshore Masterplan;
- The Eaton Fair Activity Centre plan;
- Structure Plans for the expansion of Eaton (Parkridge) and Millbridge;
- Existing Developer Contribution Plan;
- Greater Bunbury Region Scheme;
- Shire of Dardanup Local Planning Strategy;
- Shire of Dardanup Town Planning Scheme No.3;
- Joint Town Planning Scheme No. 1 – Shire of Harvey & Shire of Dardanup (East Australind/Eaton Precinct Development Scheme);
- Expected growth in the area; and
- Any other relevant planning mechanisms.

Any other relevant planning mechanisms

(Appendix ORD: 12.3.1C)

The development of the future proposed city of Wanju (to be located directly east across the Forrest Highway from Eaton-Millbridge) may have implications for the level of facilities service provision in the study area of Eaton-Millbridge. Residents of Eaton-Millbridge may have new sporting and other facilities available close by so all proposed future longer term projects may be subject to consideration of feasibility with respect to the Wanju District Structure Plan and associated Planning frameworks that are borne from it.

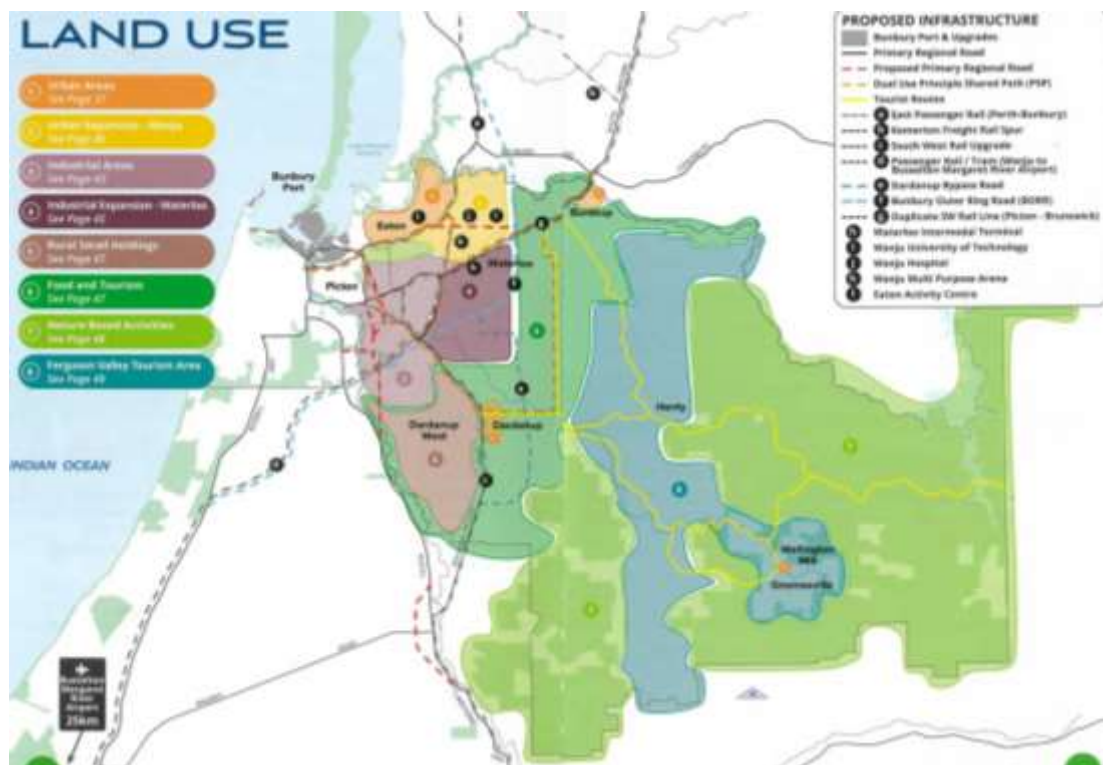
Land tenure / management responsibility

Land within the study area can be broadly categorised into the following uses:

- Residential – existing and future development areas
- Sporting / recreational (fields and pavilions, recreation centre, skate park)
- Community facilities (library, community centres)
- Public open space / environmental Areas

Much of the land area is privately owned and managed, with the balance owned and managed by the Shire and State of WA including Agency Groups such as the Water Corporation and pending management of select areas contained within the Kalgulup Regional Park by Department of Biodiversity, Conservation and Attractions (DBCA).

The overall land use for Eaton-Millbridge is shown in the below map – extracted from the Shire’s ‘2050 Vision’ document – as primarily Urban. It is considered as the primary commercial and administrative ‘centre’ within the Shire of Dardanup.



Heritage significance of the study area

The Eaton-Millbridge area has a rich history. The local Aboriginal people, the Noongars of the Bibbulmun nation, lived on and cared for the land for around 40,000 years. Despite the disruption to their way of life on the land from the arrival of European settlers, the Noongars remain the Traditional Owners of the land. Some of their stories from the area have been

(Appendix ORD: 12.3.1C)

documented through the historic walk trail project, with six signs installed along the Eaton/Pratt Road foreshore displaying written stories as well as linking to QR codes, with more detailed information – including aural history as told by the Traditional custodian of the Collie River, Mr Joe Northover – available through the Shire’s website.

Details of the stories of European settlement are not included as part of this report as to research and document this topic would be a major project in itself; however some notable features of the Eaton-Millbridge area are the Historic Hough Homestead, once a farm and the Eaton Foreshore – used over time for social and recreational purposes and subject to events including the floods of the 1960’s. Further historical information can be found in the Shire of Dardanup Local Heritage Survey of November 2016.

Eaton-Millbridge is now a now a thriving urban and suburban hub, which has established itself as a desirable location in which to live and work.

3.6.2 Community Consultation Methodology and Results

The Shire engaged the broader community by inviting comment on the draft plan through the following channels:

- Direct engagement with the Eaton Advisory Group members, including requesting that Eaton Advisory Group members share the link to the engagement with their networks;
- Direct engagement with the local Youth Advisory Group for Eaton-Millbridge;
- Newspaper advertisement through the ‘Community News’ section;
- Placement of public notices in locations including both the Dardanup and Eaton Shire offices and any local community noticeboards including in Eaton, Millbridge, Dardanup, Burekup and in all rural communities, in acknowledgement that residents in all of the Shire localities utilise the facilities in the Eaton-Millbridge townsite area;
- Website and social media posts;
- Hard copies, located in both the Eaton and Dardanup Shire offices;
- Online engagement with the broader community via ‘Connect’ – the Shire’s online tool using the Social Pin Point platform;
- A one-week display and survey set up in the Eaton Fair Shopping Centre, with staff available to answer queries from the community;
- Promotion in the Shire’s e-newsletter;
- Direct correspondence with identified key external stakeholder agencies, with invitations to comment on the draft Plan sent to relevant agency stakeholders including the Greater Bunbury Elders Group (Traditional Owners), Eaton Primary School, Glenhuon Primary School, Eaton Community College, Australind Police Station, St John Ambulance, Department of Land, Heritage and Planning (DLHP), Main Roads WA, Water Corporation, Aqwest, Alinta Energy, Western Power, Department of Water and Environmental Regulation (DWER), and Citygate.
- Promotion in Shire President’s fortnightly radio interview, which was published as a podcast.

A review of the outcomes of the overall community engagement process together with previous feedback from the Eaton Advisory Group helped to inform any amendments to the Plan before it was brought to Council for final endorsement.

Details of the investigation and consultation process have been documented in the community engagement report at [Appendix B](#).

(Appendix ORD: 12.3.1C)

3.7 Recommended Community Facilities

As at October 2021, the derivative list of proposed improvements from the draft Plan is as follows:

PROPOSED AND POSSIBLE FUTURE IMPROVEMENTS

Possible timeframes for implementation are defined as follows:



Immediate - within 1 year (Year 1, i.e. 2021-2022)

Short term - between 1-4 years (Years 2 to 4)

Medium term - between 5-10 years (Years 5 to 10)

Long term - feasibility and time frame still to be determined (not in current Ten Year Program)

Projects by an external authority or group which relate to community facility provision

All proposed and possible future improvements are subject to feasibility, approval and funding.

The listing below has been derived from the Shire's Asset Management Plans and initial Shire Staff input.

§ Denotes projects which might be subject to external funding - including grants

Improvements from Buildings Asset Management Plan (BAMP)

1	Eaton Bowling Club - New building (grant funding secured)
2	Council Drive realignment landscaping works
3	Eaton Skate Park and Pump Track, new facility
4	Eaton Office and Library - New building
5	Eaton Recreation Centre - Building and sports courts improvements (staged) §
6	New Eaton Oval Clubrooms, Pratt Road §
7	Eaton Hall (Theatre) - New building §
8	Glen Huon Oval - New sports lighting for football and softball §
9	Eaton Oval, Pratt Road - New sports lighting §
10	Eaton Tennis Club - Decommission courts and demolition of tennis court building at Eaton Oval
11	New tennis courts at Eaton Bowling Club §
12	East Millbridge Toilets - New facility, exact location TBC §

(Appendix ORD: 12.3.1C)

Improvements from Parks and Reserves Asset Management Plan (PRAMP)

13	Peninsula Lakes Park - Stage 2: Playground expansion
14	Lofthouse Reserve - Renewal of playground equipment
15	Lofthouse Reserve - New lighting
16	Lofthouse Reserve - New kickabout goals \$
17	Cadell Park - Renewal of playground equipment
18	Cadell Park - New shade sails in playground
19	New public art wall near school / Bethanie, Eaton Drive \$
20	Eaton Foreshore - Renewal of fitness equipment
21	Watson Reserve - New park sign and bench
22	East Millbridge Public Open Space Landscaping (staged) - including playground for young children
23	Eaton Foreshore - New bore \$
24	Eaton Foreshore - Irrigation upgrade \$
25	Collie River Foreshore, Millbridge/Southbank - Establish new public open space \$
26	Eaton Town Centre - New landscaping - including Hands Creek \$
27	Eaton Recreation Centre - New planting
28	Collie River Foreshore, Parkridge - Establish new public open space (staged over 2 years) \$
29	Glen Huon Oval - New water filtration system
30	Watson Reserve - Landscape upgrade \$
31	Peninsula Lakes Park - Stage 3: Hard landscaping and amenities
32	Eaton Foreshore - Stage 3: Landscaping, lighting, reticulated power \$
33	East Millbridge - Stage 2: Establish new public open space \$
34	Duck Pond - New park sign & bench
35	Eaton Drive Islands & Verges - Median strip landscape upgrade (staged)
36	Eaton Foreshore - Stage 5 - Hard landscaping and Infrastructure \$
37	New fenced dog exercise area (subject to land tenure and funding) \$
38	Eaton Foreshore stabilisation works - resulting from Lower Collie River Erosion Management Plan (currently Draft)
39	Duck Pond Reserve - Water Sensitive Urban Design improvements
40	Possible future new Eaton Drive Entry Statement from Forrest Highway (subject to approvals) \$
41	Possible future Mountain Bike Track - location TBC. If near Forrest Hwy - may be subject to Main Roads approvals \$

Improvements from Roads Asset Management Plan (RAMP)

42	Pratt Road - Modifications to Pratt Road car park (opposite Eaton Bowling Club)
43	Eaton Drive Extension - extension of second carriageway
44	Eaton Drive / Glen Huon Boulevard Intersection - new traffic signals
45	Eaton Drive / Hamilton Rd Roundabout & Hands Av Intersection modifications \$
46	Left-out treatment at Ann Street \$
47	Pratt Road - Streetscaping and modifications to complement Eaton Foreshore Upgrade
48	Eaton Drive / Lofthouse Ave Intersection - New traffic signals \$
49	Eaton Drive / Peninsula Lakes Drive Intersection - New traffic signals \$
50	Eaton Drive / Lavender Way Intersection - Convert to left-in only intersection \$
51	Millard Street / Lofthouse Avenue Intersection - New roundabout \$

Improvements from Stormwater Asset Management Plan (SWAMP)

52	Hamilton Road, near Hale Street - Improve drainage capacity \$
53	Improve water quality - Hands Creek (staged) \$

Improvements by others - influencing community facilities provision

54	Eaton Fair Activity Centre upgrade and Town Square, including realignment of Council Drive
55	Future public open space areas - by respective Developer
56	Forrest Hwy extra turn lane including traffic lights (Main Roads project)

Additional Place Activation projects, identified from community engagement outcomes, may be considered as grant funding opportunities arise.

Note: The Department of Biodiversity, Conservation and Attractions (DBCA) may install facilities such as wayfinding and other signage as part of the Kalgulup Regional Park. The type, nature and location of such facilities is as yet unknown.

(Appendix ORD: 12.3.1C)

All recommendations resulting from the upcoming community engagement process and associated refinement process have been:

- Itemised as new, upgrade / improvement to existing, or removal of existing;
- Represented graphically on the Plan through the use of colour coded numbers;
- Assigned a timeframe, being either immediate, short, medium or long term – or categorised separately (in red) if they might be subject to the cooperation of an external agency;
- Highlighted on the Plan with a symbol if they have already been included in the Shire's Asset Management Plans;
- Highlighted on the Plan with a symbol if they are subject to external funding such as grants.

It should be noted that all proposed and possible future projects are subject to the relevant approvals and funding. Projects which may be subject to feasibility or the cooperation of an external agency or group have been highlighted as such on the plan.

Some projects have been included on the plan with an indicative location only, as this might still need to be determined. Feasibility investigations will also determine which might be the most appropriate location for such a facility.

3.8 Costing of Community Facilities

Detailed costing of all recommendations does not form part of this Scope of Work. However, all recommendations in the final Plan for projects to implement must be based upon sound financial practices and considered in view of limited Shire resources.

3.9 Funding Opportunities

Possible funding sources for each recommendation will be identified as a part of determining the project feasibility prior to the Shire committing to undertake the project. Some possible major sources of funding might include Royalties for Regions and Lotterywest. Any future improvements which relate to environmental amenity could consider funding applications through the South West Catchments Council. There will be other opportunities that the Shire will be able to investigate when required.

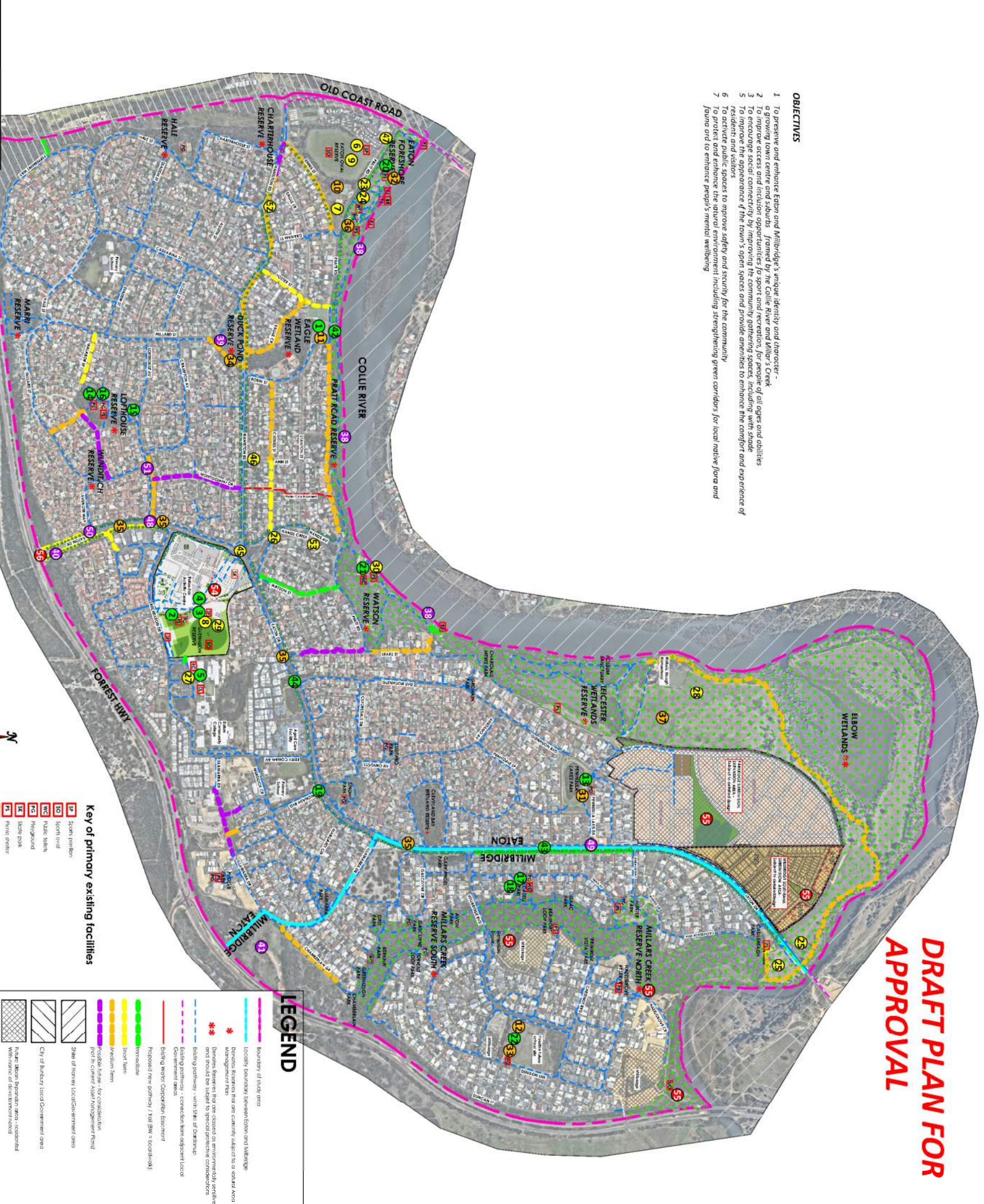
EATON-MILLBRIDGE Overview Plan

DRAFT PLAN FOR APPROVAL



COMMUNITY FACILITIES PLAN

- OBJECTIVES**
- To preserve and enhance Eaton and Millbridge's unique identity and character - a growing town centre and suburbs - framed by the Collic River and Millar's Creek
 - To improve access and inclusion opportunities for sport and recreation, for people of all ages and abilities
 - To encourage social connectivity by improving the community gathering spaces, including with shade
 - To improve the appearance of the town's open spaces and provide amenities to enhance the comfort and experience of resident and visitors
 - To protect and enhance the natural environment including strengthening green corridors for local native flora and fauna and to enhance people's mental wellbeing



Draft Plan for Approval

DESIGNED	25/06/2020	DRAWINGS NO.	A1
REVISIONS	2020-CPT-0004-01	DATE	07/10/2021
APPROVED	LE	ENDORSED	



Key of primary existing facilities

31	Sport park
32	Sport oval
33	Public table
34	Playground
35	Tennis court
36	Public toilet
37	Public shelter
38	Public amenity
39	Public art
40	Public art
41	Public art

LEGEND

—	Boundary of town area
—	Local boundaries between Eaton and Millbridge
—	Boundaries between other reserves
—	Reserve boundaries
—	Proposed new gateway / toll gate / boardwalk
—	Proposed new gateway / toll gate / boardwalk
—	Proposed new gateway / toll gate / boardwalk
—	Proposed new gateway / toll gate / boardwalk
—	Proposed new gateway / toll gate / boardwalk
—	Proposed new gateway / toll gate / boardwalk

PROPOSED AND POSSIBLE FUTURE IMPROVEMENTS

Possible timeframes for implementation are defined as follows:

- Immediate - within 1 year (Year 1, i.e. 2021-2022)
- Short term - between 1-4 years (Years 2 to 4)
- Medium term - between 5-10 years (Years 5 to 10)
- Long term - feasibility and time frame still to be determined (not in current Ten Year Program)

All proposed and possible future improvements are subject to feasibility, approval and funding.

The listing below has been derived from the Shire's Asset Management Plan and Initial Shire Staff Input.

Demotes project; which might be subject to external funding, including grants

Item No	Improvement Description	Timeframe
1	Eaton Bowling Club - New building (Grant funding secured)	Immediate
2	Eaton Drive Relignment - New landscape	Short term
3	Eaton State Park and Pump Track, new facility	Short term
4	Eaton Office and Library - New building	Short term
5	Eaton Recreation Centre - Building and sports courts improvements (staged)	Short term
6	New Eaton Oval (Laboratory, front fence)	Short term
7	Eaton Hill (Theater) - New building	Short term
8	Glen Huan Oval - New sports lighting for football and softball	Short term
9	Eaton Oval (Pratt Road) - New sports lighting	Short term
10	Eaton Tennis Club - Decommission courts and demolition of tennis court building at Eaton Oval	Short term
11	New tennis courts at Eaton Bowling Club	Short term
12	Eaton Millbridge Toilets - New facility, exact location TBC	Short term
13	Peninsula Lakes Park - Stage 2: Playground expansion	Short term
14	Lothhouse Reserve - Renewal of playground equipment	Short term
15	Lothhouse Reserve - New lighting	Short term
16	Lothhouse Reserve - New football goals	Short term
17	Cardell Park - Renewal of playground equipment	Short term
18	Cardell Park - New shade sails in playground	Short term
19	New public art wall near school / Berhille, Eaton Drive	Short term
20	Eaton Forebush - Renewal of fitness equipment	Short term
21	Watson Reserve - New park sign and bench	Short term
22	East Millbridge Public Open Space (Landscape) - Including playground for young children	Short term
23	Eaton Forebush - New benches	Short term
24	Eaton Forebush - Irrigation upgrade	Short term
25	Collie River Forebush, Millbridge/Southbank - Establish new public open space	Short term
26	Eaton Town Centre - New landscaping, including Handicraft Deck	Short term
27	Eaton Recreation Centre - New planter	Short term
28	Collie River Forebush, Parkridge - Establish new public open space (staged over 2 years)	Short term
29	Glen Huan Oval - New water filtration system	Short term
30	Watson Reserve - Landscape upgrade	Short term
31	Peninsula Lakes Park - Stage 3: Hard landscaping and amenities	Short term
32	Eaton Forebush - Stage 3: Landscaping, lighting, rectangular mower	Short term
33	East Millbridge - Stage 2: Establish new public open space	Short term
34	Duck Pond - New park sign and bench	Short term
35	Eaton Drive Island 8, Virginia - Medicinal herb landscaping (staged)	Short term
36	Eaton Forebush - Stage 5 - Hard landscaping and infrastructure	Short term
37	New fenced dog exercise area (subject to land tenure and funding)	Short term
38	Eaton Forebush Rehabilitation works - Resurfacing from Lower Collie River (Eaton Management Plan (currently Draft))	Short term
39	Duck Pond Reserve - Water Sensitive Urban Design Improvements	Short term
40	Possible future new Eaton Drive Entry Statement from Forest Highway (subject to approval)	Short term
41	Possible future Mountain Bike Track - location TBC. If near Forest Hwy - may be subject to Main Roads approvals	Short term
42	Pratt Road - Modifications to Pratt Road car park (opposite Eaton Bowling Club)	Short term
43	Eaton Drive Extension - extension of second carriageway	Short term
44	Eaton Drive / Glen Huan Boulevard intersection - new traffic signals	Short term
45	Eaton Drive / Hamilton Rd Roundabout & Haines Av intersection modifications	Short term
46	Left-out treatment at Aun Street	Short term
47	Pratt Road - Signage and modifications to complement Eaton Forebush Upgrade	Short term
48	Eaton Drive / Lothhouse Ave intersection - New traffic signals	Short term
49	Eaton Drive / Peninsula Lakes Drive intersection - New traffic signals	Short term
50	Eaton Drive / Lanesford Way intersection - Connect to left-in only intersection	Short term
51	Millard Street / Lothhouse Avenue intersection - New roundabout	Short term
52	Hamilton Road / rear Hill Street - Improve drainage capacity	Short term
53	Improve water quality - Hards Creek (staged)	Short term
54	Eaton Fair Activity Centre upgrade and Town Square including realignment of Council Drive	Short term
55	Future public open space areas - by respective Developer	Short term
56	Forever Hwy extra turn lane including traffic lights (Main Roads project)	Short term
57	Additional Place Activation projects, identified from community engagement outcomes, may be considered as grant funding opportunities	Short term
58	Note: The Department of Biodiversity, Conservation and Attractions (DBCA) may install facilities such as wayfinding and other signage as part of the Kalbar Regional Park. The type, nature and location of such facilities is as yet unknown.	Short term

COMMUNITY FACILITIES PLAN

EATON-MILLBRIDGE

Western area

DRAFT PLAN FOR APPROVAL



Draft Plan for Approval		DRAWING NO.	SIZE
DESIGNED	25/06/2020	2020-CPT-0004-02	A1
VP	REVIEWED	APPROVED	ENDORSED
VP	LB	07/10/2021	



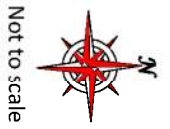
For List of Proposed and Possible Future Improvements - refer to Sheet 1 (overview plan)

Key of primary existing facilities

- SP Sports centre
 - SO Sports oval
 - WP Public toilet
 - PG Playground
 - SK Skate park
 - SR Senior centre
 - CL Community Library
 - HC Health Centre
 - EJ Elderly day care
 - BR Boat ramp
 - UD Underserved open space
- Note: Not shown on map - sewerage including SBEs, sewage tank, bus stops, street furniture

LEGEND

- Boundary of study area
- Locality boundaries between feldon and wildlife
- Generics Reserve that are currently subject to a Wildlife Area Management Plan
- Generics Reserve that are based on environmentally sensitive and should be subject to special protective considerations
- Existing pathways - within Site of Outstanding
- Existing pathways - connection from adjacent local government areas
- Existing Wildlife Conservation Boardland
- Proposed view pathway / 70% BSW (a borewater)
- Greenway
- Surf Lane
- Median Lane
- Possible future / for consideration (with a caveat Asset Management Plan)
- Site of Hervey Local Government area
- City of Bundaberg Local Government area
- Future Urban Expansion area - residential with notes of development/infrastructure
- Areas included in Koginza/Ingham Park (DACA) Note: management of areas by State services (DACA) - varies
- Existing Urban Green belt including Street trees
- Priority species to be reintroduced
- Location and type of ornamental trees, grasses in park
- Areas to be delivered in separate Open Space Reservations or Landscape Development Plans



Not to scale

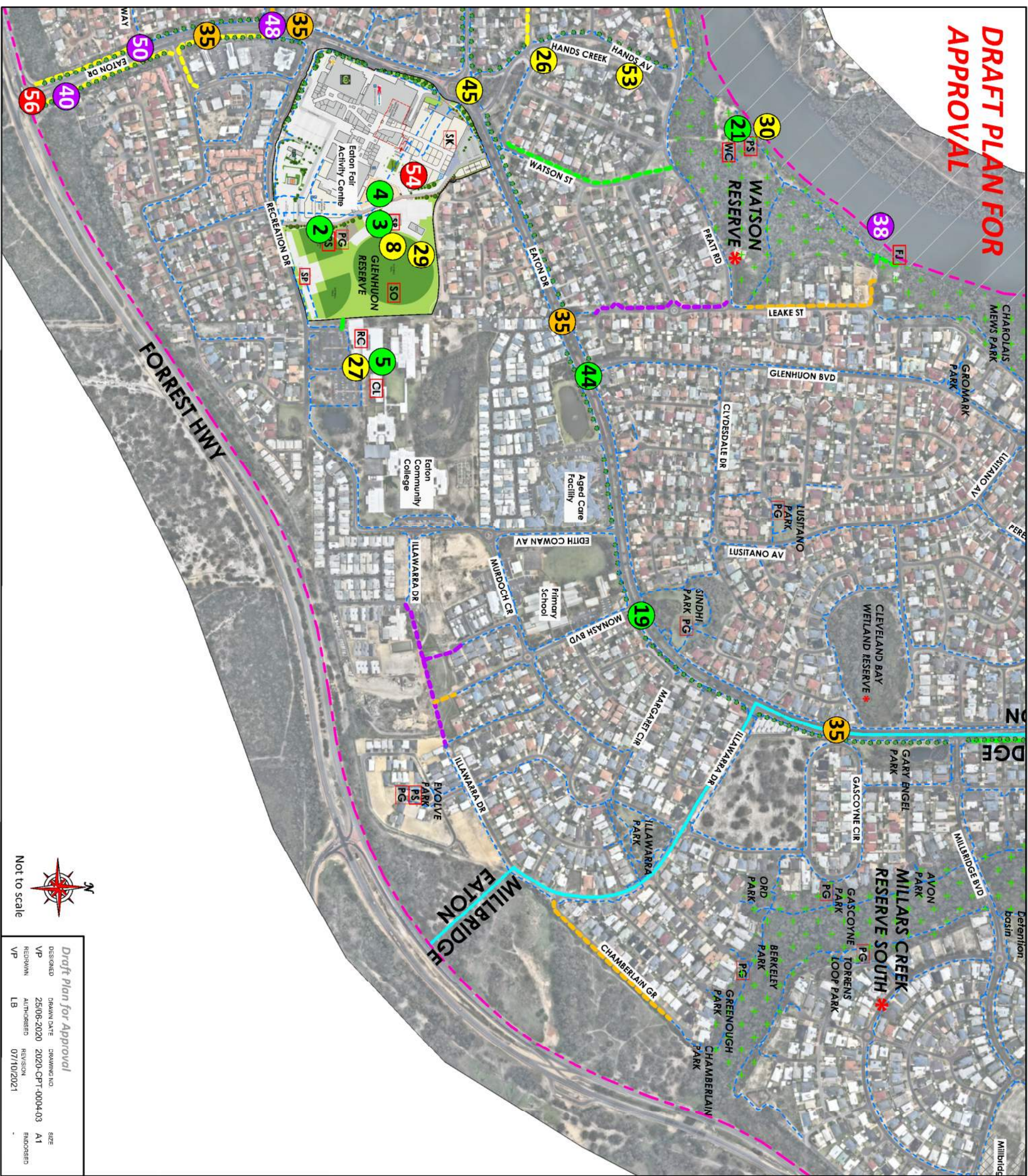
COMMUNITY FACILITIES PLAN

(Appendix ORD: 12.3.1D)

EATON-MILLBRIDGE

Central area

DRAFT PLAN FOR APPROVAL



DESIGNED	VP	DRAWN DATE	25/06-2020	DRAWING NO.	2020-CPT-0004-03	SIZE	A1
REVISION	VP	APPROVED	07/10/2021	REVISION		ENDORSED	

For For List of Proposed and Possible Future Improvements - refer to Sheet 1 (overview plan)

- Key of primary existing facilities**
- 39 Sports pavilion
 - 50 Sports oval
 - 46 Public toilets
 - 49 Playground
 - 37 Sports park
 - 43 Picnic shelter
 - 41 Community library
 - 42 Recreation Centre
 - 44 Riding platform or jiffy
 - 45 local area
 - 49 Undeveloped open space
- Note: All shown on plan - sometimes including B&Os, water table, bus stop, drink fountains

LEGEND

- Boundary of other areas
- Locality boundary between Eaton and Millbridge
- Directly adjacent areas that are currently subject to a related area Management Plan
- Areas that are currently subject to a related area Management Plan and should be subject to special protective considerations
- Bathing platform - within State of Queensland
- Bathing platform - connection from adjacent local Government areas
- Bathing Water Corporation basin
- Proposed new pathway / trail (BW = footwalk)
- Intermediate
- Short Term
- Medium Term
- Possible future - for consideration (not in current strategic development plan)
- State of New South Wales Government area
- City of Berrima local Government area
- Future Urban Extension area - (indicated with hatched pattern)
- Future Urban Extension area - (indicated with diagonal lines)
- Areas included in Koolah Regional Plan (DRCA)
- Note: management of areas by State (indicated B&Os) - water
- Public lands (shown for "including Sport Fields")
- Private lands (shown for "including Sport Fields")
- Open spaces to be determined in response to Open Space Metropolitan Landscape Development Plan



EATON-MILLBRIDGE

Northern area

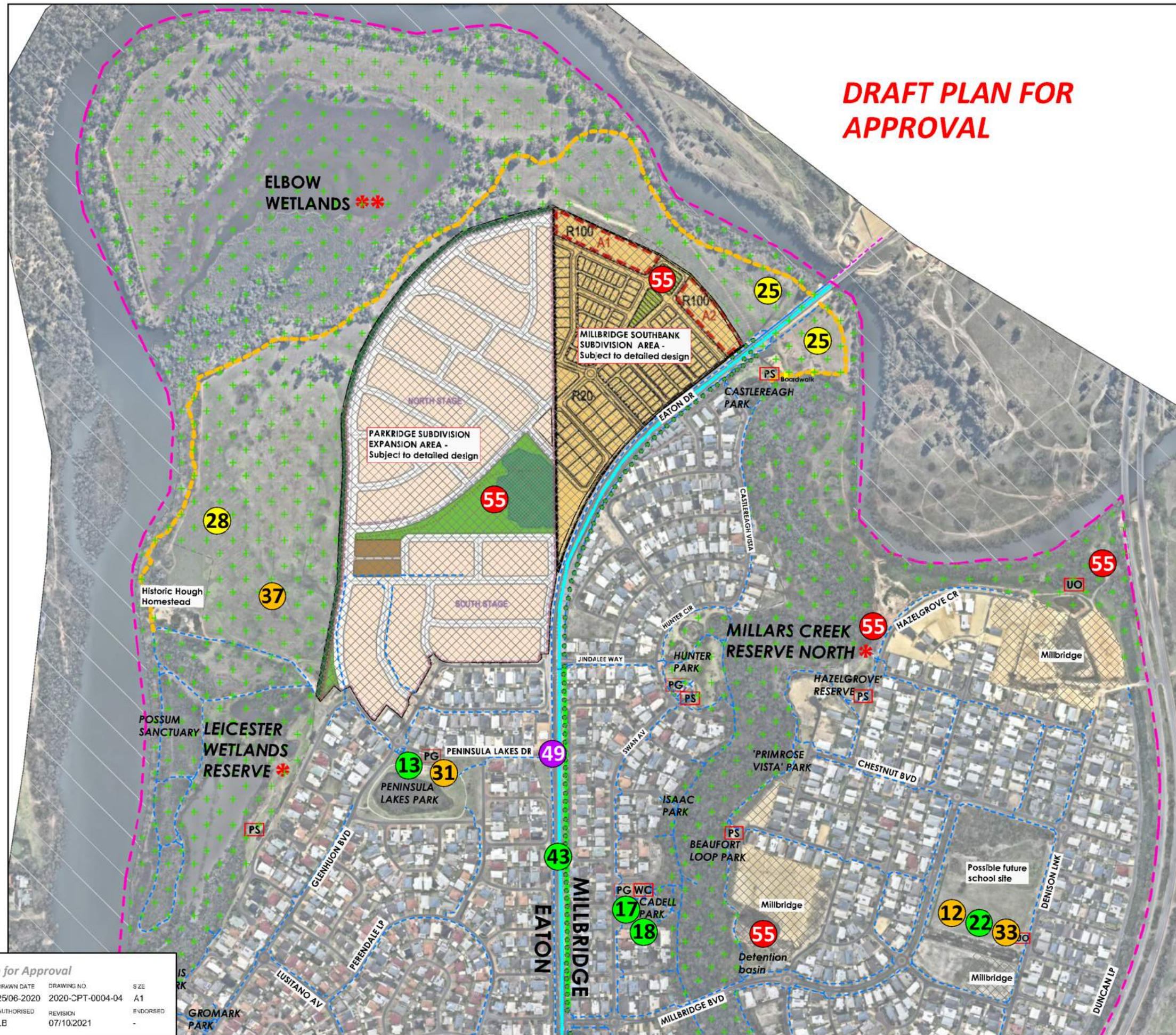
(Appendix ORD: 12.3.1D)



COMMUNITY FACILITIES PLAN

DRAFT PLAN FOR APPROVAL

For List of Proposed and Possible Future Improvements - refer to Sheet 1 (overview plan)



Key of primary existing facilities

- SP Sports pavilion
- SO Sports oval
- VO Public toilets
- PG Playground
- SK Skate park
- PS Picnic shelter
- CL Community Library
- RC Recreation Centre
- UF Fishing platform or jolly
- BR Boat ramp
- UO Undeveloped open space

Note: Not shown on plan - amenities including BBQ's, shade sails, bus stops, drink fountains

LEGEND

- Boundary of study area
- Locally boundary between Eaton and Millbridge
- Donated Reserves that are currently subject to a Natural Area Management Plan
- Donated Reserves that are classified as environmentally sensitive and should be subject to special protective considerations
- Existing pathway - within Shire of Dardanup
- Existing pathway - connection from adjacent Local Government areas
- Existing Water Cooperation easement
- Proposed new pathway / trail (BW = boardwalk):
 - Immediate
 - Short Term
 - Medium Term
 - Possible future - for consideration (not in current Asset Management Plan)
- Shire of Harvey Local Government area
- City of Bunbury Local Government area
- Future Urban expansion area - restricted with name of development method
- Areas included in Kalbar Regional Park (DRCA) Note: management of areas by Shire and/or DRCA - walks
- Possible future 'Green Belt' including Street Trees - priority areas to be nominated (indicates locations shown only, subject to feasibility) Location and type of any proposed new trees in public open spaces to be determined in separate Open Space Masterplans or Landscape Development Plans.

Draft Plan for Approval

DESIGNED	DRAWN DATE	DRAWING NO.	SIZE
VP	25/06-2020	2020-CPT-0004-04	A1
REDRAWN	AUTHORISED	REVISION	ENDORSED
VP	LB	07/10/2021	-



Not to scale

RISK ASSESSMENT TOOL

OVERALL RISK EVENT: Eaton Millbridge Community Facilities Plan – endorse final Plan

RISK THEME PROFILE:

6 - Engagement Practices

RISK ASSESSMENT CONTEXT: Project

CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
FINANCIAL IMPACT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
SERVICE INTERRUPTION	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
LEGAL AND COMPLIANCE	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
REPUTATIONAL	Negative perception of the Shire if projects are not programmed to meet Community needs	Minor (2)	Almost Certain (5)	Moderate (5 - 11)	Finalise Eaton Millbridge Community Facilities Plan by advertising and seeking feedback on draft Plan, and taking outcomes into consideration I design review of the final draft Plan	Minor (2)	Unlikely (2)	Low (1 - 4)
ENVIRONMENT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.

(Appendix ORD: 12.3.1F)

Eaton-Millbridge Community Facilities Plan – Comparison between March 2021 advertised Plan and October 2021 amended Plan.

Item no. & colour code	March 2021 Plan: Proposed Improvements <i>Note that 2020-21 was 'Year 1' for this plan</i>	Item no. & colour code	October 2021 Plan: Proposed Improvements <i>Note that 2021-22 is now 'Year 1' for this plan</i> Symbols to indicate 'E' (for environmental projects) and 'EFS' (as projects deriving from Eaton Foreshore Master plan) have been removed for simplicity	Year of delivery (in AMP's, as at Aug 2021) <i>When a project is across more than 1 year, use colour coding to show first year of project only</i>	Changes <i>Where something is marked as a 'natural change' it has just moved into an earlier category by 1 year, due to 1 year passing from commencement of Plan</i>
	Buildings Asset Management Plan (BAMP)				
1	Eaton Bowling Club - New building (grant funding secured) - in progress	1	Eaton Bowling Club – New building (grant funding secured)	2021-22 Yr 1 - green	No change
2	Council Drive realignment landscaping works	2	Council Drive realignment landscaping works	2021-22 Yr 1 - green	No change
3	Eaton Skate Park - New facility \$	3	Eaton Skate Park <u>and Pump Track</u> , new facility	2021-22 Yr 1 - green	No longer 'subject to funding'. Add mention of pump track
4	Eaton Office & Library - New building. Subject to further approvals	4	Eaton Office and Library - New building	2021-22 to 2023-24 (across 3 yrs) Green & yellow (show as green)	Removed mention of further approvals – that will be a natural part of the project
5	New Eaton Oval Clubrooms \$	6	New Eaton Oval Clubrooms, Pratt Road \$	2022-23 Yellow	Add mention of oval location
6	Eaton Hall (Theatre) - New building \$	7	Eaton Hall (Theatre) - New building \$	2024-25, 2025-26 Yellow & orange (show as yellow)	Natural change from orange to yellow
7	Eaton Tennis Club - Decommission courts and tennis court building at Eaton Oval	10	Eaton Tennis Club - Decommission courts and <u>demolition of</u> tennis court building at Eaton Oval	2025-56 Orange	Adding note to show proposed demolition of old tennis court building. M
8	New tennis courts at Eaton Bowling Club \$	11	New tennis courts at Eaton Bowling Club \$	2025-56 Orange	No change
9	Eaton Recreation Centre - Building Extension - Additional Indoor Courts \$	5	Eaton Recreation Centre - Building and sports courts improvements (<u>staged</u>) \$	2021-22 to 2027-28 Green, yellow & orange (show as green)	Change from orange to green
10	Millbridge Toilets - New facility, exact location TBC	12	<u>East Millbridge</u> Toilets - New facility, exact location TBC \$	2029-30 Orange	As not in short term forward plans, now shown as 'subject to funding'
N/A	N/A	8	Glen Huon Oval – New sports lighting for football and softball \$	2022-23 Yellow	New item
N/A	N/A	9	Eaton Oval, Pratt Road – New sports lighting \$	2023-24	New item

(Appendix ORD: 12.3.1F)

Item no. & colour code	March 2021 Plan: Proposed Improvements <i>Note that 2020-21 was 'Year 1' for this plan</i>	Item no. & colour code	October 2021 Plan: Proposed Improvements <i>Note that 2021-22 is now 'Year 1' for this plan</i> Symbols to indicate 'E' (for environmental projects) and 'EFS' (as projects deriving from Eaton Foreshore Master plan) have been removed for simplicity	Year of delivery (in AMP's, as at Aug 2021) <i>When a project is across more than 1 year, use colour coding to show first year of project only</i>	Changes <i>Where something is marked as a 'natural change' it has just moved into an earlier category by 1 year, due to 1 year passing from commencement of Plan</i>
				Yellow	
	Parks and Reserves Asset Management Plan (PRAMP)				
11	Peninsula Lakes Park - Stage 2: Playground expansion - in progress	13	Peninsula Lakes Park - Stage 2: Playground expansion	2021-22 Green	No change
12	Watson Reserve - New water filtration System - in progress	N/A	N/A	2021-22 Green	Deleted from amended plan – project completed
13	Millars Creek - Lighting upgrade, south of Millbridge Blvd	N/A	N/A	2021-22 Green	Deleted from amended plan – project completed
14	Possum Sanctuary, Leicester Reserve - with LCC; grant funded <i>E</i> - completed	N/A	N/A	2021-22 Green	Deleted from amended plan – project completed
15	Fencing remnant bush areas on south side of Lofthouse Reserve, near Pecan Lane <i>E</i>	N/A	N/A	2021-22 Green	Deleted from amended plan – project completed
N/A	N/A	14	Lofthouse Reserve – renewal of playground	2021-22 Green	Showing key playground renewals as improved facilities provision
N/A	N/A	15	Lofthouse Reserve – new lighting	2021-22 Green	New item
N/A	N/A	16	Lofthouse Reserve – new kickabout goals \$	2021-22 Green	New item – place activation project, subject to grant funding
N/A	N/A	17	Cadell Park – renewal of playground	2021-22 Green	Showing key playground renewals as improved facilities provision
N/A	N/A	19	New public art wall near school/Bethanie, Eaton Drive \$	2021-22 Green	Show on plan – subject to grant funding
N/A	N/A	20	Eaton Foreshore – Renewal of fitness equipment	2021-22 Green	New item – replacing old equipment
16	Watson Reserve - New park sign and bench	21	Watson Reserve - New park sign and bench	2021-22 Green	Natural change from yellow to green
17	New fenced dog exercise area (Location to be confirmed - not shown on this plan)	37	New fenced dog exercise area (subject to land tenure and funding) \$	Not shown as project in current Ten Year Plans – however recommend to	Location now selected; subject to land tenure – timing & budget TBC. As not in current AMP's,

(Appendix ORD: 12.3.1F)

Item no. & colour code	March 2021 Plan: Proposed Improvements <i>Note that 2020-21 was 'Year 1' for this plan</i>	Item no. & colour code	October 2021 Plan: Proposed Improvements <i>Note that 2021-22 is now 'Year 1' for this plan</i> Symbols to indicate 'E' (for environmental projects) and 'EFS' (as projects deriving from Eaton Foreshore Master plan) have been removed for simplicity	Year of delivery (in AMP's, as at Aug 2021) <i>When a project is across more than 1 year, use colour coding to show first year of project only</i>	Changes <i>Where something is marked as a 'natural change' it has just moved into an earlier category by 1 year, due to 1 year passing from commencement of Plan</i>
				show as medium term, due to community investment in this project	now shown as 'subject to funding'
18	Eaton Foreshore - New bore \$	23	Eaton Foreshore - New bore \$	2022-23, 2023-24 Yellow	No change
19	Eaton Foreshore - Irrigation upgrade \$	24	Eaton Foreshore - Irrigation upgrade \$	2022-23, 2023-24 Yellow	No change
20	Collie River Foreshore, Millbridge/Southbank - Establish new public open space \$	25	Collie River Foreshore, Millbridge/Southbank - Establish new public open space \$	2023-24 Yellow	No change
21	East Millbridge Public Open Space - Stage 1: New irrigated turf	22	East Millbridge Public Open Space Landscaping (staged) – including playground for young children	2021-22, 2022-23 Green, yellow (show as green)	Natural change from yellow to green. Grant funded playground added in
22	Eaton Town Centre - New landscaping - including Hands Creek \$	26	Eaton Town Centre - New landscaping - including Hands Creek \$	2023-24 Yellow	No change
23	Eaton Recreation Centre - New planting	27	Eaton Recreation Centre - New planting	2022-23 Yellow	No change
24	Peninsula Lakes Park - Stage 3: Hard landscaping and amenities	31	Peninsula Lakes Park - Stage 3: Hard landscaping and amenities	2029-30 Orange	Change from yellow to orange
25	Collie River Foreshore, Parkridge - Establish new public open space: Stage 1 \$	28	Collie River Foreshore, Parkridge - Establish new public open space (staged over 2 years) \$	2023-24, 2024-25 Yellow	Stage 1 & 2 combined and shown as one project (staged)
26	Collie River Foreshore, Parkridge - Establish new public open space: Stage 2 \$	N/A	Remove – combine with Stage 1, show as one item (staged project)	N/A	Remove – combine with Stage 1, show as one project
27	Glen Huon Oval - New water filtration system	29	Glen Huon Oval - New water filtration system	2024-25, 2025-26 Yellow, orange (show as yellow)	Change from orange to yellow
28	Eaton Foreshore - Stage 3: Landscaping, lighting, reticulated power <i>EFS</i> \$	32	Eaton Foreshore - Stage 3: Landscaping, lighting, reticulated power \$	2026-27, 2027-28 Orange	Remove reference to Eaton Foreshore Masterplan
29	Watson Reserve - Landscape upgrade \$	30	Watson Reserve - Landscape upgrade \$	2024-25, 2025-26 Yellow, orange (show as yellow)	Change from orange to yellow
30	East Millbridge - Stage 2: Establish new public open space \$	33	East Millbridge - Stage 2: Establish new public open space \$	2030-31 Orange	No change

(Appendix ORD: 12.3.1F)

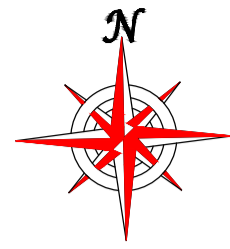
Item no. & colour code	March 2021 Plan: Proposed Improvements <i>Note that 2020-21 was 'Year 1' for this plan</i>	Item no. & colour code	October 2021 Plan: Proposed Improvements <i>Note that 2021-22 is now 'Year 1' for this plan</i> Symbols to indicate 'E' (for environmental projects) and 'EFS' (as projects deriving from Eaton Foreshore Master plan) have been removed for simplicity	Year of delivery (in AMP's, as at Aug 2021) <i>When a project is across more than 1 year, use colour coding to show first year of project only</i>	Changes <i>Where something is marked as a 'natural change' it has just moved into an earlier category by 1 year, due to 1 year passing from commencement of Plan</i>
31	Cadell Park - New shade sails in playground \$	18	Cadell Park - New shade sails in playground	2021-22 Green	Change from orange to green. Show alongside playground renewal. Funding confirmed
32	Duck Pond - New park sign & bench	34	Duck Pond - New park sign & bench	2027-28 Orange	No change
33	Eaton Drive Islands & Verges - Median strip landscape upgrade	35	Eaton Drive Islands & Verges - Median strip landscape upgrade (<u>staged</u>)	Stage 1: 2028-29, 2029-30 Orange Stage 2: 2030-31 onwards Orange (show as one project, orange)	Add note to show works staged over time
34	Eaton Foreshore - Stage 5 - Hard landscaping and Infrastructure EFS \$	36	Eaton Foreshore - Stage 5 - Hard landscaping and Infrastructure \$	2030-31 Orange	Remove reference to Eaton Foreshore Masterplan
35	Eaton Foreshore stabilisation works - resulting from Lower Collie River Erosion Management Plan (currently Draft)	38	Eaton Foreshore stabilisation works - resulting from Lower Collie River Erosion Management Plan (currently Draft) \$	Not in AMP's	Added '\$' to show subject to funding
36	Duck Pond Reserve - Water Sensitive Urban Design improvements	39	Duck Pond Reserve - Water Sensitive Urban Design improvements \$	Not in AMP's	Added '\$' to show subject to funding
37	Possible future new Eaton Drive Entry Statement from Forrest Highway	40	Possible future new Eaton Drive Entry Statement from Forrest Highway (<u>subject to approvals</u>) \$	Not in AMP's – refer Main Roads comments from engagement	Change to wording, following Main Roads feedback Added '\$' to show subject to funding Project by Shire not by others – change to purple.
38	Possible future Mountain Bike Track - location TBC. If near Forrest Hwy - may be subject to Main Roads approvals \$	41	Possible future Mountain Bike Track - location TBC. If near Forrest Hwy - may be subject to Main Roads approvals \$	Not in AMP's – refer Main Roads comments from engagement	No change. Note Main Roads feedback – permanent facility may not be possible in location west of highway due to dedication as future interchange. Project by Shire not by others – change to purple.
Roads Asset Management Plan (RAMP)					

(Appendix ORD: 12.3.1F)

Item no. & colour code	March 2021 Plan: Proposed Improvements <i>Note that 2020-21 was 'Year 1' for this plan</i>	Item no. & colour code	October 2021 Plan: Proposed Improvements <i>Note that 2021-22 is now 'Year 1' for this plan</i> Symbols to indicate 'E' (for environmental projects) and 'EFS' (as projects deriving from Eaton Foreshore Master plan) have been removed for simplicity	Year of delivery (in AMP's, as at Aug 2021) <i>When a project is across more than 1 year, use colour coding to show first year of project only</i>	Changes <i>Where something is marked as a 'natural change' it has just moved into an earlier category by 1 year, due to 1 year passing from commencement of Plan</i>
39	Eaton Drive Extension - extension of second carriageway (staged)	43	Eaton Drive Extension - extension of second carriageway	2021-22 Green	Remove word 'staged'
40	Pratt Road - Modifications to Pratt Road car park (opposite Eaton Bowling Club)	42	Pratt Road - Modifications to Pratt Road car park (opposite Eaton Bowling Club)	2021-22 Green	No change to item. Keep all Eaton Drive projects together
41	Hands avenue signalised intersection and pedestrian safety treatment \$	45	Eaton Drive / Hamilton Road Roundabout & Hands Avenue Intersection modifications \$	2022-23 Yellow	Merge with Hamilton Road intersection modifications item <i>Change to reflect September 2021 Council Resolution 287-21</i>
N/A	N/A	46	Left-out treatment at Ann Street \$	Not shown in AMP's but include as 2022-23 Yellow due to correlation with above project	Locate together with Hamilton / Hands modifications
42	Glen Huon Boulevard signalised intersection \$	44	Eaton Drive / Glen Huon Boulevard Intersection – new traffic signals	2021-22 Green	Change to green <i>Change to reflect September 2021 Council Resolution 287-21</i>
43	Pratt Road - Streetscaping and modifications to complement Eaton Foreshore Upgrade	47	Pratt Road - Streetscaping and modifications to complement Eaton Foreshore Upgrade	2023-24 Yellow	No change
44	Eaton Drive - Intersection upgrades and modifications: Lofthouse Ave (tbc) \$	48	Eaton Drive / Lofthouse Ave Intersection – New traffic signals \$	Timing TBC – recommend to show as long term	Split into separate intersection upgrades
N/A	N/A	49	Eaton Drive / Peninsula Lakes Drive Intersection – New traffic signals \$	Timing TBC – recommend to show as long term	<i>Change to reflect September 2021 Council Resolution 287-21</i>
N/A	N/A	50	Eaton Drive / Lavender Way Intersection – convert to left-in only intersection \$	Timing TBC – recommend to show as long term	<i>Change to reflect September 2021 Council Resolution 287-21</i>
N/A	N/A	51	Millard Street / Lofthouse Avenue Intersection – New roundabout \$	Timing TBC – recommend to show as long term	<i>Change to reflect September 2021 Council Resolution 287-21</i>
	Stormwater Asset Management Plan (SWAMP)				
45	Hamilton Road, near Hale Road - Improve drainage capacity \$	52	Hamilton Road, near Hale Road - Improve drainage capacity \$	2022-23, 2023-24 Yellow	No change
46	Improve water quality - Hands Creek: Stage 1 \$	53	Improve water quality - Hands Creek (staged) \$	2024-25, 2025-26 Yellow, orange (show as yellow)	Stages 1 and 2 combined into one overall (staged) project

(Appendix ORD: 12.3.1F)

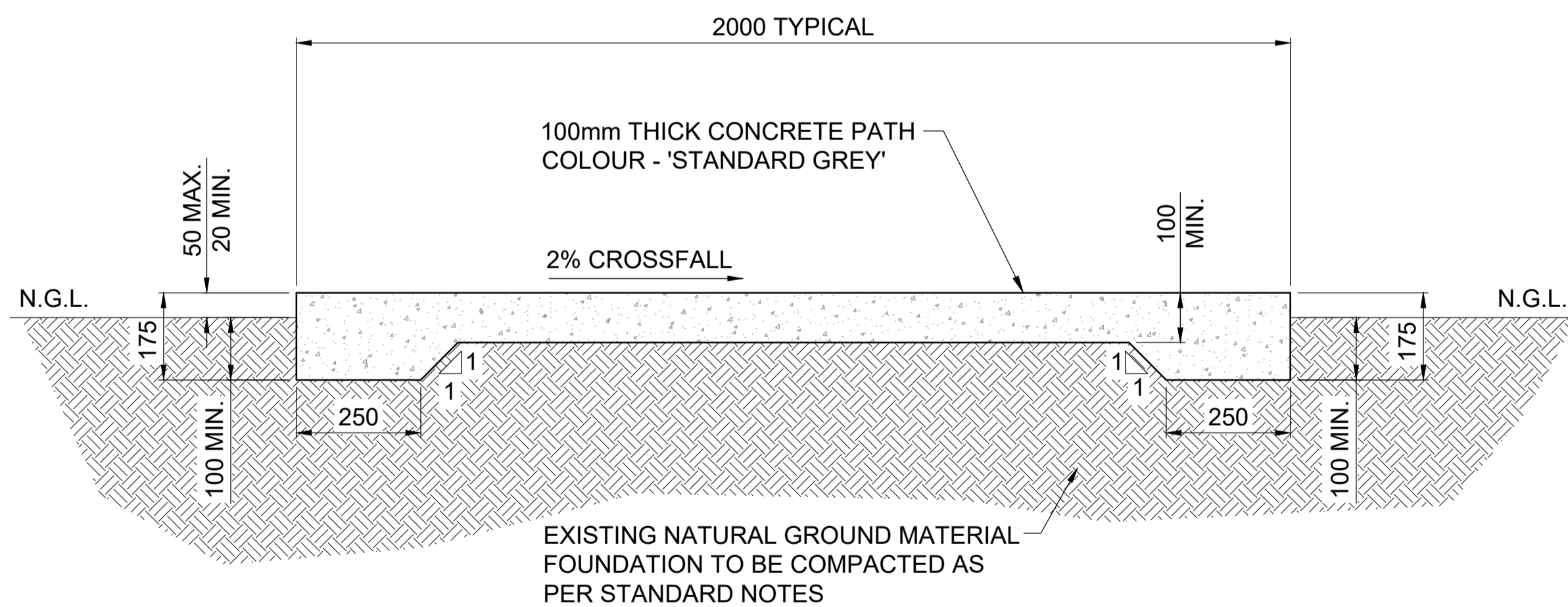
Item no. & colour code	March 2021 Plan: Proposed Improvements <i>Note that 2020-21 was 'Year 1' for this plan</i>	Item no. & colour code	October 2021 Plan: Proposed Improvements <i>Note that 2021-22 is now 'Year 1' for this plan</i> Symbols to indicate 'E' (for environmental projects) and 'EFS' (as projects deriving from Eaton Foreshore Master plan) have been removed for simplicity	Year of delivery (in AMP's, as at Aug 2021) <i>When a project is across more than 1 year, use colour coding to show first year of project only</i>	Changes <i>Where something is marked as a 'natural change' it has just moved into an earlier category by 1 year, due to 1 year passing from commencement of Plan</i>
47	Improve water quality - Hands Creek: Stage 2 \$	N/A	N/A – combine into one overall project (staged)	N/A	Stages 1 and 2 combined into one overall (staged) project
Pathways Asset Management Plan (PAMP)					
48	Waterfront Historic Walk Trail from Old Coast Rd Bridge to Hands Av lookout, Govt. funded - path completed	N/A	N/A	2021-22 Green	Deleted from amended plan – project completed
	<i>All proposed new pathways shown on plan - refer to Legend. Timeframes indicated by colour coding key in the Legend.</i>	N/A	N/A		No change
Improvements by others - influencing community facilities provision					
49	Eaton Fair Activity Centre upgrade and Town Square, including realignment of Council Drive	54	Eaton Fair Activity Centre upgrade and Town Square, including realignment of Council Drive	2021-22 onwards	No change
50	Future public open space areas - by respective Developer	55	Future public open space areas - by respective Developer	Timing unknown	No change
51	Dual turn right lanes into Forrest Hwy from Eaton Dr - by Main Roads	56	Forrest Hwy extra turn lane including traffic lights (Main Roads project)	Timing unknown	<i>Change in wording to reflect Sept 2021 Council Resolution 287-21</i>
	<i>Other possible future improvements to be determined, subject to community and stakeholder engagement, feasibility & funding</i>		Delete this note		Note deleted



LAYOUT PLAN
SCALE 1:500

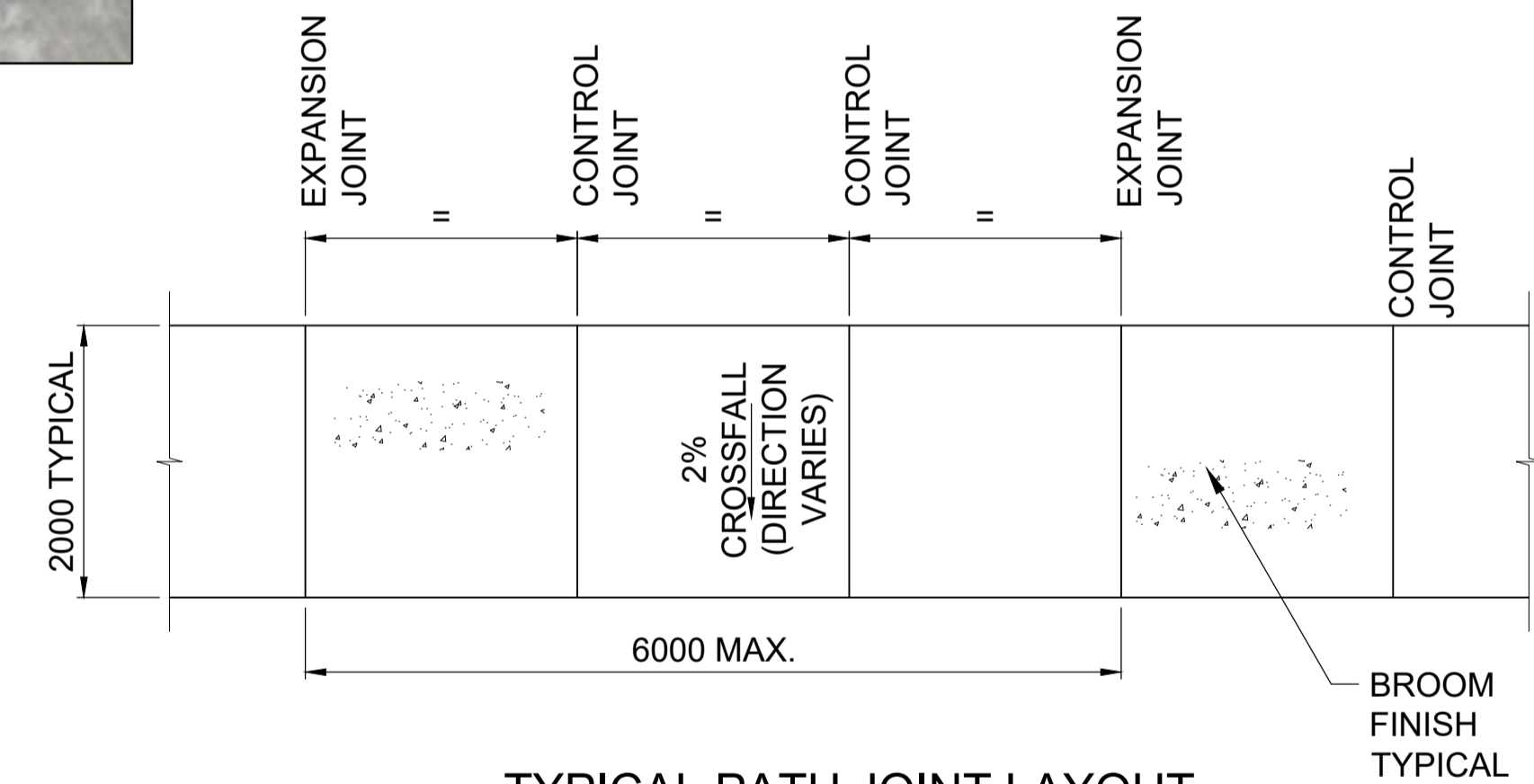
NOTES:

1. FOUNDATION TO BE COMPACTED FILL TO 90%MDD OR 7 BLOWS PER 300mm PSP.
2. ALL CONCRETE FOR PATH CONSTRUCTION TO BE A MINIMUM OF 32MPa, 20mm AGGREGATE AND MAXIMUM SLUMP OF 65mm.
3. BEDDING - NATURAL SANDY MATERIAL.
4. FINISH - BROOMED TO NON-SKID FINISH.
5. ALL EXPOSED CONCRETE PATH EDGES TO BE FINISHED WITH A STANDARD BULLNOSE TROWEL.
6. UNLESS NOTED OTHERWISE, THE FOLLOWING COLOUR IS TO BE USED: 'STANDARD GREY' OR SIMILAR APPROVED BY SHIRE.
7. EXPANSION JOINTS TO BE INSTALLED ALONG THE BACK OF ANY EXISTING KERBING, WHERE APPLICABLE.
8. ALL EXISTING SERVICE LIDS TO BE BUILT INTO CONCRETE PATHS. ADJUST PATH LEVELS LOCALLY TO ENSURE PATH LEVELS MARRY WITH TOP OF EXISTING LIDS.
9. PRIOR TO COMPLETION OF WORKS, ALL PATHWAYS ARE TO BE BACK-FILLED TO TIE INTO EXISTING LEVELS.
10. PAVING TO BE PROTECTED AGAINST RAIN DAMAGE AND/OR VANDALISM.
11. PAVING TO BE PROTECTED AGAINST QUICK DRYING TO ACHIEVE CURING.
12. CONTRACTOR TO REMOVE ALL SPOIL AND DEBRIS FROM SITE AND MAKE GOOD. ANY DAMAGE TO SHIRE'S RETICULATION SYSTEM TO BE REPAIRED BY CONTRACTOR.
13. KERB RAMPS TO MATCH COLOUR AND FINISH OF NEW CONCRETE PATH AND TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH MAIN ROADS STANDARD DRAWING 9831-5649. TGSi's TO BE AFFIXED TO EACH KERB RAMP IN STRICT ACCORDANCE WITH AS 1428.4 AND THE BCA.
14. TACTILE GROUND SURFACE INDICATORS (TGSi's) - 'TERRACOTTA' COLOUR, INTEGRATED RANGE (GLUE ON TILES) AS SUPPLIED BY TGSi PTY LTD (PH: 6364 0999) OR SIMILAR APPROVED BY THE SHIRE. CONTRACTOR TO INSTALL AS PER SUPPLIER'S SPECIFICATIONS; SHIRE OF DARDANUP STAFF ARE TO CONFIRM TGSi ORIENTATION AT EACH LOCATION TO ENSURE CONFORMANCE WITH AS1428.4.
15. PROVIDE CONCRETE INFILL BETWEEN FOOTPATH AND KERB AS REQUIRED. COLOUR - 'TERRACOTTA' OR SIMILAR APPROVED BY SHIRE.

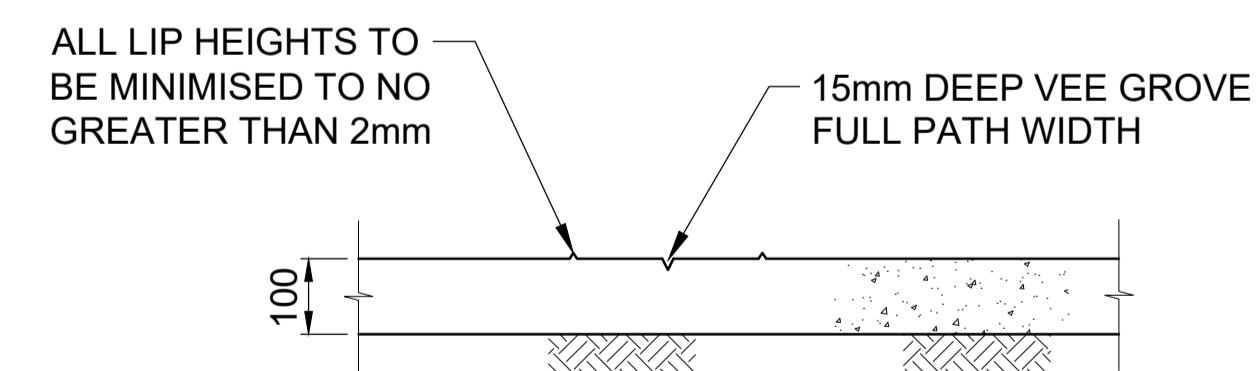


TYPICAL SECTION - SHARED PATH
SCALE 1:10

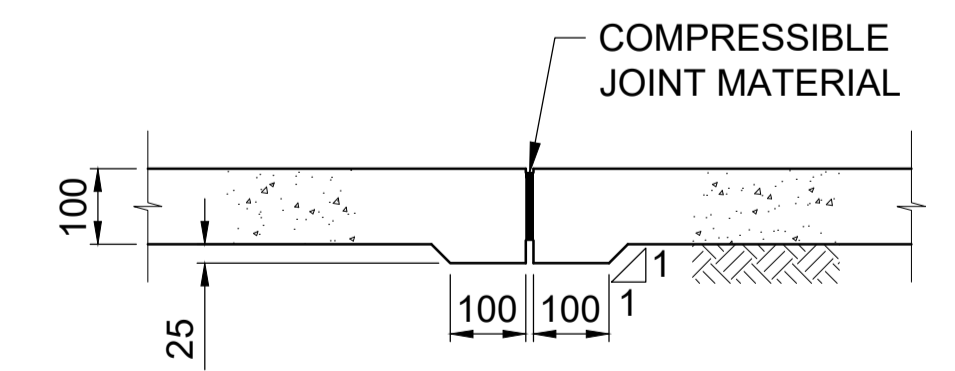
NOTE:
SITE SETOUT FOR THE SHARED PATH IS DETERMINED BY THE CENTRELINE OF THE EXISTING WORN TRAIL.
AREA OF NEW SHARED PATH = 169.04m²



TYPICAL PATH JOINT LAYOUT
SCALE 1:10



TYPICAL CONTROL JOINT DETAIL
SCALE 1:10



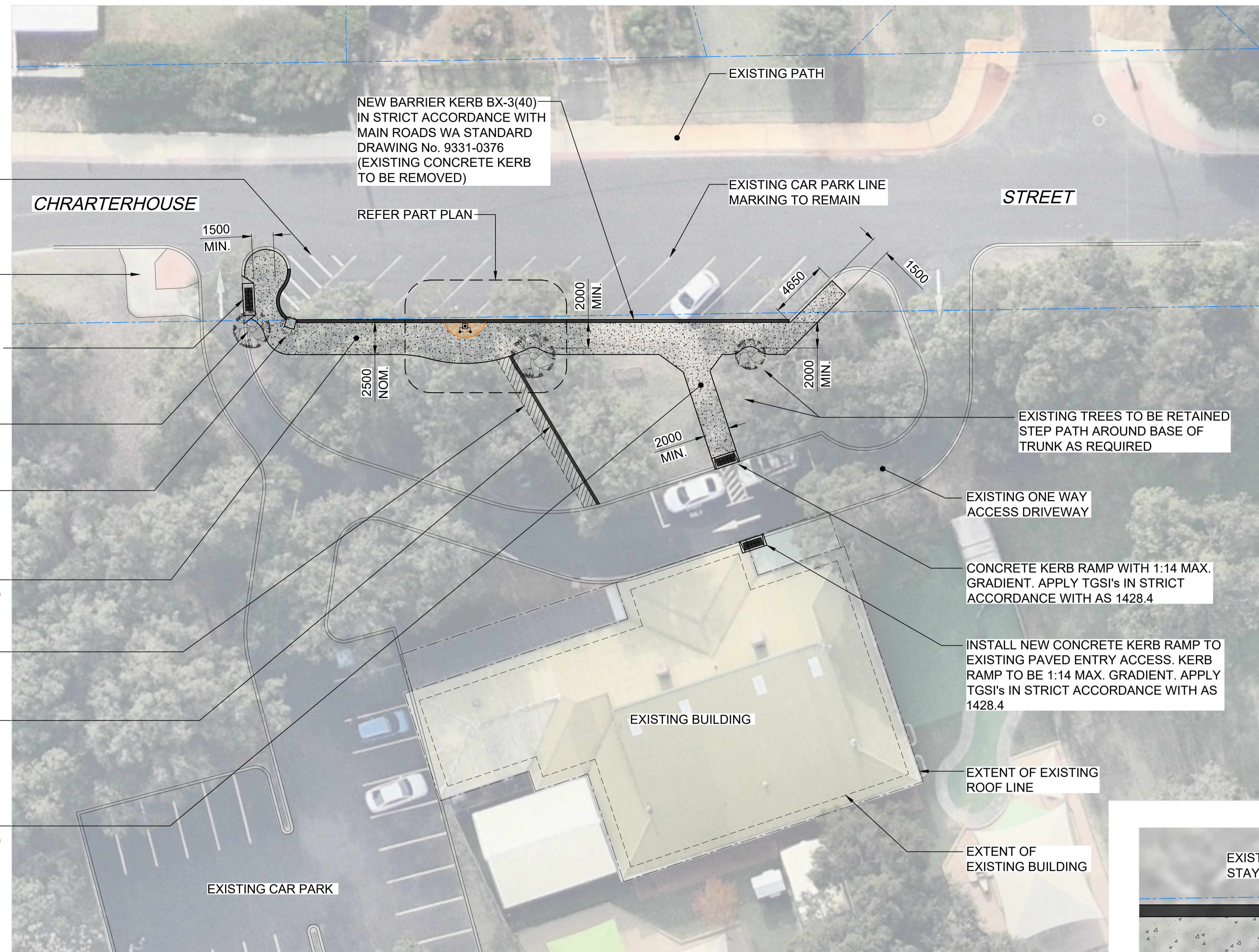
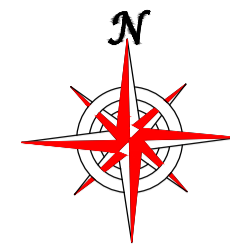
TYPICAL EXPANSION JOINT DETAIL
SCALE 1:10



AMENDMENT DESCRIPTION	BY	DATE	APPROVED	DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE	INFRASTRUCTURE		
A PRELIMINARY	B.B.	26.02.2021		B.B.	25.02.2021		PATHWAYS DESIGN - 2020 / 2021 PEPPERMINT WAY TO SANCTUARY GOLF RESORT, EATON	DRAWING NO. 2021-FTP-003-01		
B ISSUED FOR APPROVAL	B.B.	09.07.2021		B.B.						SHEET NO. 1 OF 1
THIS DRAWING IS AND SHALL REMAIN THE SOLE PROPERTY OF 'THE SHIRE OF DARDANUP'. THE DRAWING MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED, AND MAY NOT BE LENT, SHOWN, COPIED OR OTHERWISE DUPLICATED WITHOUT THE WRITTEN AUTHORISATION OF THE OWNER.							PROPOSED SHARED PATH LAYOUT PLAN AND DETAILS		SHEET SIZE A1	
				DATUM: AHD GRID SYSTEM: GDA94		SHEET NO. 1 OF 1		SHEET SIZE A1		

Administration Centre Eaton
P.O. Box 7017- 1 Council Drive
Eaton Western Australia 6232
ABN: 57 305 829 663

Telephone 08 9724 0000
Facsimile 08 9724 0091
Online www.dardanup.wa.gov.au



LAYOUT PLAN

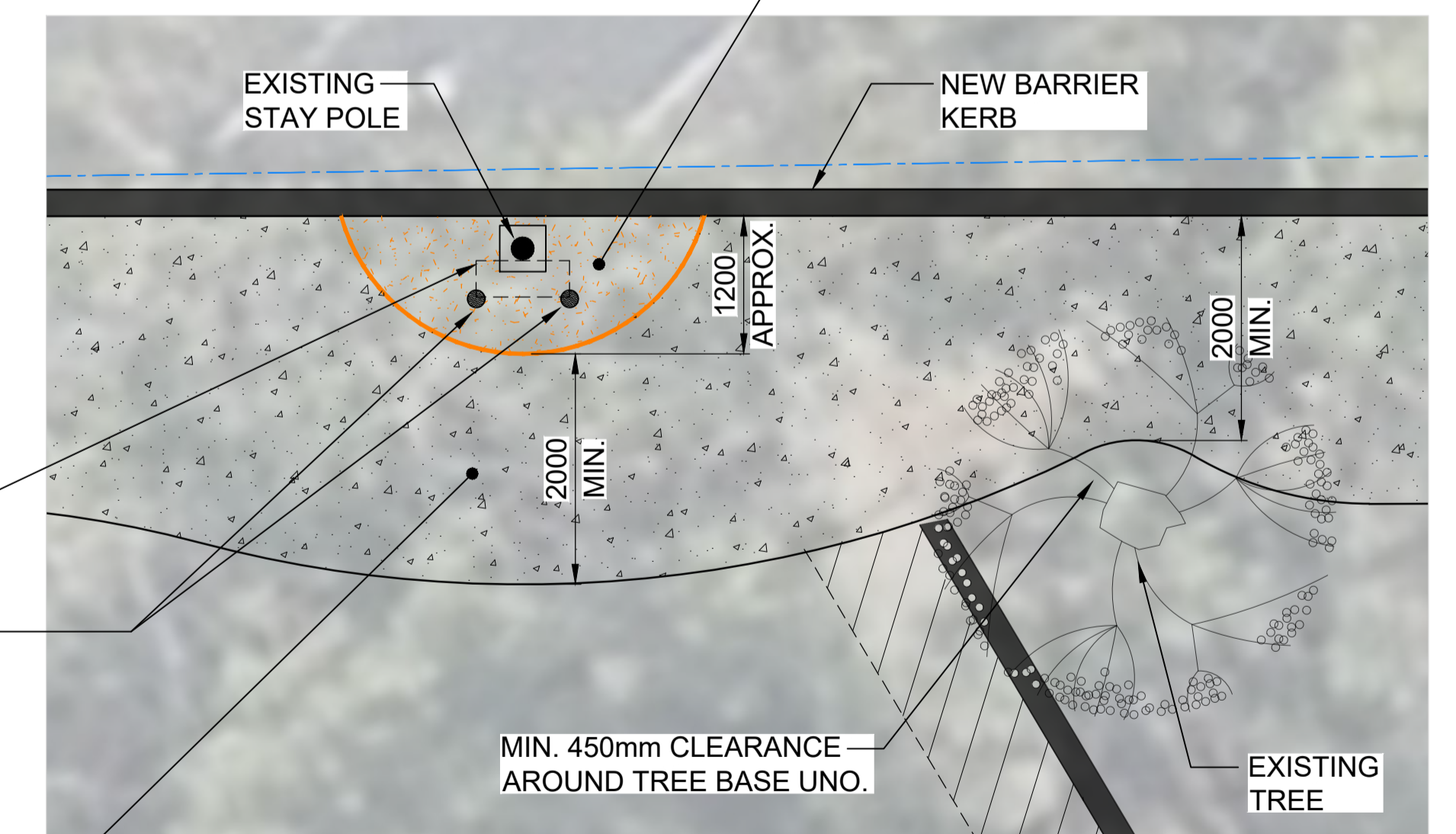
SCALE 1:400

- PROVIDE LINE MARKING TO REMAINDER OF END BAY
- EXISTING PATH AND KERB RAMPS
- CONCRETE KERB RAMP (TYPE A) AS PER STANDARD DETAIL ON MAIN ROADS WA DRAWING No. 9831-5649.
- ENSURE MINIMUM 500mm CLEARANCE TO BASE OF TREE TRUNK
- REPLACE EXISTING SIDE ENTRY PIT LID. MAKE GOOD EXISTING STORMWATER PIT UNDER AS REQUIRED
- EXISTING CONCRETE PAVERS TO BE REMOVED AND REPLACED WITH 2500mm WIDE SHARED PATH. REFER TYPICAL DETAIL
- EXISTING CONCRETE PAVERS TO BE REMOVED. MAKE GOOD WITH GARDEN MULCH
- NEW BARRIER KERB BX-1 IN STRICT ACCORDANCE WITH MAIN ROADS WA STANDARD DRAWING No. 9331-0376
- EXISTING CONCRETE PAVERS TO BE REMOVED AND REPLACED WITH 2000mm WIDE SHARED PATH. REFER TYPICAL DETAIL

NOTES:

1. DO NOT SCALE FROM THE DRAWINGS. ALL DIMENSIONS ARE TO THE FACE OF FRAMING OR STRUCTURE. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PROJECT SUPERVISOR FOR A DECISION PRIOR TO COMMENCEMENT OF ANY WORK.
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
3. WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT S.A.A. CODES AND THE LOCAL STATUTORY AUTHORITIES REGULATIONS INCLUDING ALL AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
4. SERVICES, SUCH AS SEWER, WATER, GAS, COMMUNICATIONS, ELECTRICITY AND DRAINAGE SERVICES, MAY BE ENCOUNTERED DURING CONSTRUCTION OF THE WORKS. BEFORE EXCAVATION COMMENCES, THE LOCATION OF ALL SERVICES SHALL BE OBTAINED FROM THE RELEVANT AUTHORITIES BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE A SAFE WORKING ENVIRONMENT FOR THE DURATION OF THE WORKS. THE CONTRACTOR SHALL HAVE IN PLACE PROJECT SAFETY AND RISK MANAGEMENT SYSTEMS WHICH COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT AND WORK SAFE WA REQUIREMENTS.
6. THE CONTRACTOR SHALL LIMIT ACCESS TO THE WORKS TO THE SITEWORKS BOUNDARY. EXISTING VEGETATION ETC. OUTSIDE OF THE BOUNDARY TO BE PROTECTED.
7. ALL VEGETATION SHALL REMAIN UNDISTURBED UNLESS SPECIFICALLY NOTED ON THE PLANS OR ADVISED BY THE SHIRE.
8. THE SHIRE WILL ARRANGE FOR ALL VEGETATION TO BE INSPECTED AND TRIMMED AS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK.

NOTE:
AREA OF NEW SHARED PATH = 141.68m²



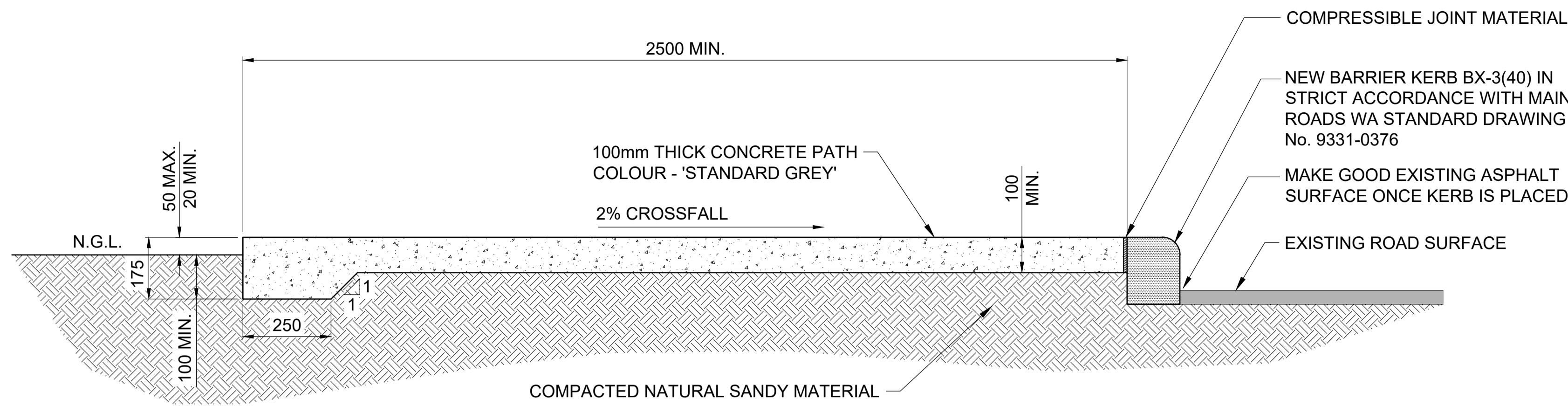
PART PLAN

SCALE 1:25

- POWER DISTRIBUTION BOX FIXED TO STAY POLE OVER
- NEW BOLLARDS 900 HIGH AGL. CAST INTO FOOTING. BOLLARDS TO BE CENTERED UNDER CORNER OF DISTRIBUTION BOX OVER. SHIRE TO PROVIDE BOLLARDS FOR INSTALLATION BY PATH CONTRACTOR
- GREY CONCRETE PATH REFER TYPICAL DETAIL



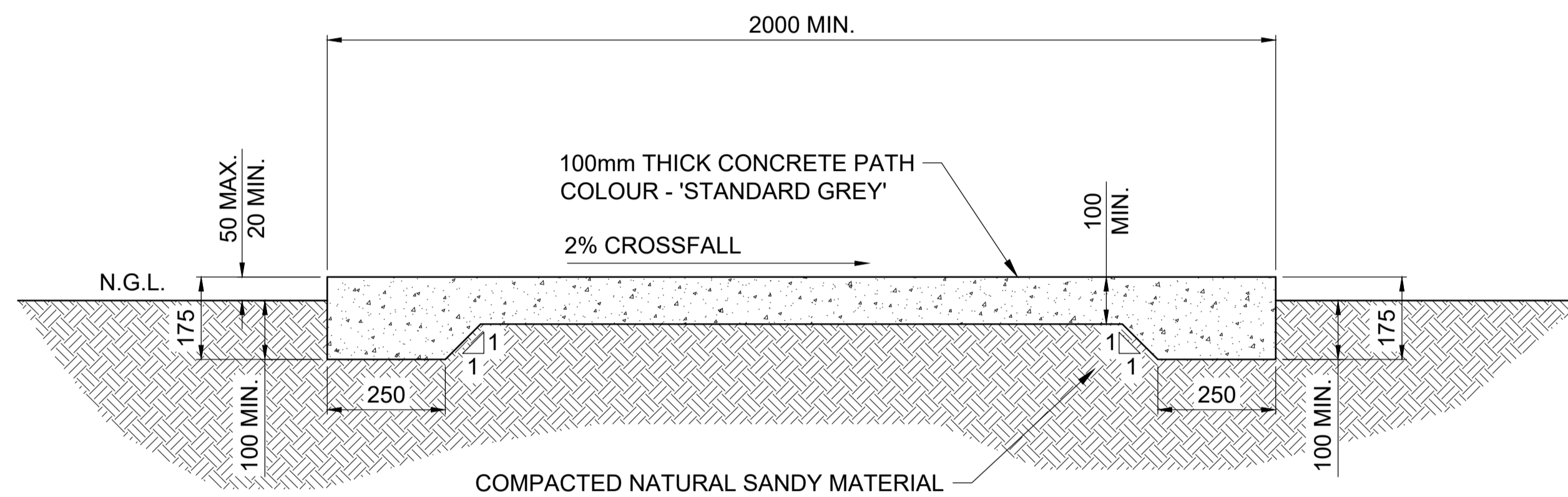
AMENDMENT DESCRIPTION	BY	DATE	APPROVED	DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE	INFRASTRUCTURE	
A PRELIMINARY	B.B.	23.07.2021		B.B.	15.07.2021		PATHWAYS DESIGN - 2020 / 2021	DRAWING NO. 2021-FTP-016-01	
B ISSUED FOR APPROVAL	B.B.	17.08.2021		B.B.		CHARTERHOUSE STREET, EATON	DATUM: AHD GRID SYSTEM: GDA94		
THIS DRAWING IS AND SHALL REMAIN THE SOLE PROPERTY OF 'THE SHIRE OF DARDANUP'. THE DRAWING MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED, AND MAY NOT BE LENT, SHOWN, COPIED OR OTHERWISE DUPLICATED WITHOUT THE WRITTEN AUTHORISATION OF THE OWNER.							PROPOSED SHARED PATH LAYOUT PLAN	<p>Administration Centre Eaton P.O. Box 7017- 1 Council Drive Eaton Western Australia 6232 ABN: 57 305 829 663</p> <p>Telephone 08 9724 0000 Facsimile 08 9724 0091 Online www.dardanup.wa.gov.au</p>	



NOTE: THE PATH IS DESIGNED TO BE A 'SHARED PATH' AS DEFINED BY 'RTC 2000' AND 'Austroads - Guide to Road Design Part 6A'.

TYPICAL 2500mm PATH CROSS SECTION

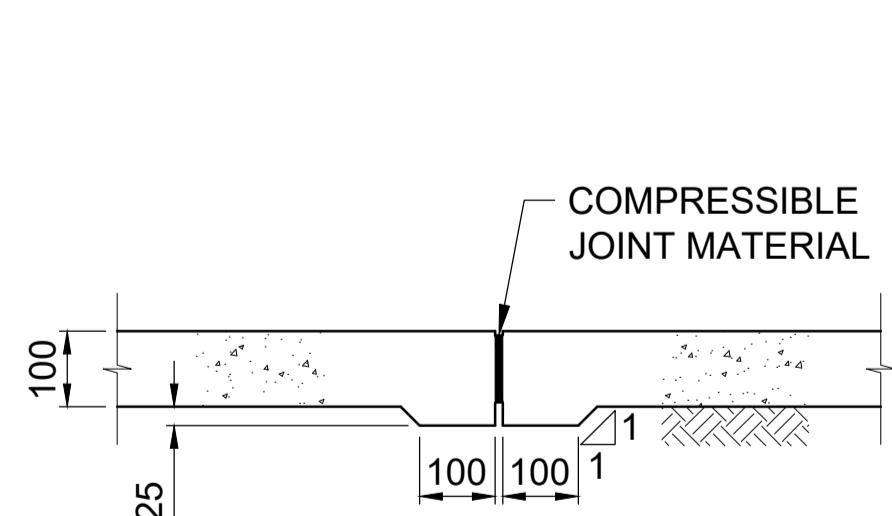
SCALE 1:20



NOTE: THE PATH IS DESIGNED TO BE A 'SHARED PATH' AS DEFINED BY 'RTC 2000' AND 'Austroads - Guide to Road Design Part 6A'.

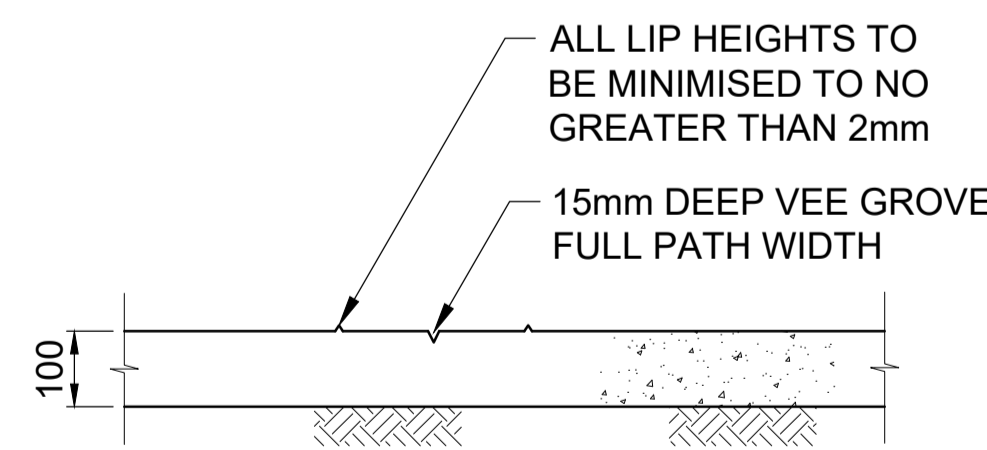
TYPICAL 2000mm PATH CROSS SECTION

SCALE 1:20



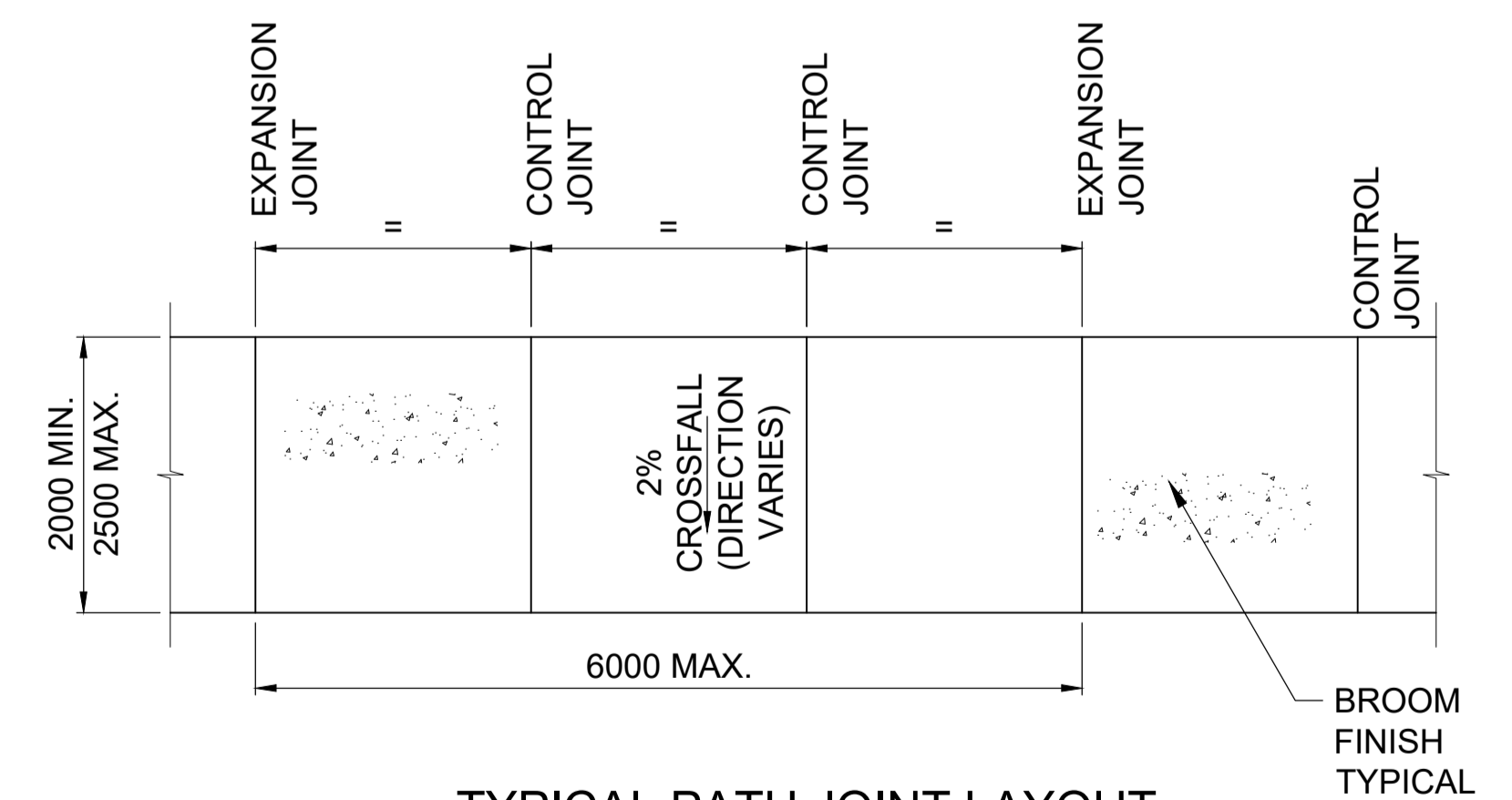
TYPICAL EXPANSION JOINT DETAIL

SCALE 1:20



TYPICAL CONTROL JOINT DETAIL

SCALE 1:20



TYPICAL PATH JOINT LAYOUT

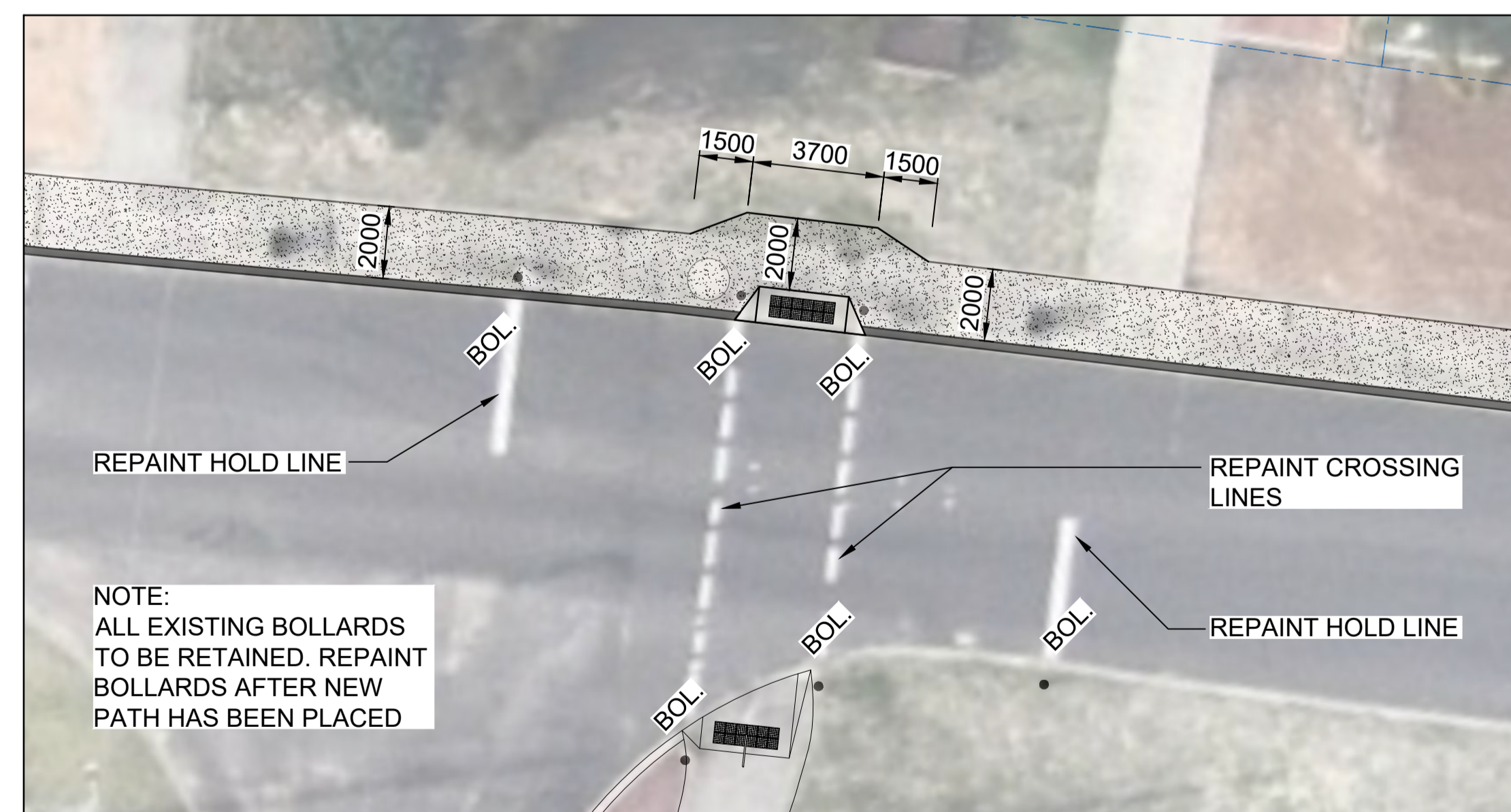
NOT TO SCALE

NOTES:

1. FOUNDATION TO BE COMPACTED FILL TO 90%MDD OR 7 BLOWS PER 300mm PSP.
2. ALL CONCRETE FOR PATH CONSTRUCTION TO BE A MINIMUM OF 25MPa, 20mm AGGREGATE AND MAXIMUM SLUMP OF 65mm.
3. BEDDING - NATURAL SANDY MATERIAL.
4. FINISH - BROOMED TO NON-SKID FINISH.
5. ALL EXPOSED CONCRETE PATH EDGES TO BE FINISHED WITH A STANDARD BULLNOSE TROWEL.
6. UNLESS NOTED OTHERWISE, THE FOLLOWING COLOUR IS TO BE USED: 'STANDARD GREY' OR SIMILAR APPROVED BY SHIRE.
7. EXPANSION JOINTS TO BE INSTALLED ALONG THE BACK OF ANY EXISTING KERBING, WHERE APPLICABLE.
8. ALL EXISTING SERVICE LIDS TO BE BUILT INTO CONCRETE PATHS. ADJUST PATH LEVELS LOCALLY TO ENSURE PATH LEVELS MARRY WITH TOP OF EXISTING LIDS.
9. PRIOR TO COMPLETION OF WORKS, ALL PATHWAYS ARE TO BE BACK-FILLED TO TIE INTO EXISTING LEVELS.
10. NEW PAVING TO BE PROTECTED AGAINST RAIN DAMAGE AND/OR VANDALISM.
11. NEW PAVING TO BE PROTECTED AGAINST QUICK DRYING TO ACHIEVE CURING.
12. CONTRACTOR TO REMOVE ALL SPOIL AND DEBRIS FROM SITE AND MAKE GOOD. ANY DAMAGE TO SHIRE'S RETICULATION SYSTEM TO BE REPAIRED BY CONTRACTOR.
13. KERB RAMPS TO MATCH COLOUR AND FINISH OF NEW CONCRETE PATH AND TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH MAIN ROADS STANDARD DRAWING 9831-5649. TGSIs TO BE AFFIXED TO EACH KERB RAMP IN STRICT ACCORDANCE WITH AS 1428.4 AND THE BCA.
14. TACTILE GROUND SURFACE INDICATORS (TGSIs) - 'TERRACOTTA' COLOUR, INTEGRATED RANGE (GLUE ON TILES) AS SUPPLIED BY TGSIPY LTD (PH: 6364 0999) OR SIMILAR APPROVED BY THE SHIRE. CONTRACTOR TO INSTALL AS PER SUPPLIER'S SPECIFICATIONS; SHIRE OF DARDANUP STAFF ARE TO CONFIRM TGSi ORIENTATION AT EACH LOCATION TO ENSURE CONFORMANCE WITH AS1428.4.
15. ALL EXISTING PATH MATERIAL THAT HAS BEEN REMOVED SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR. ANY EXISTING CLAY OR CONCRETE PAVING BRICKS ARE TO BE STACKED ON PALETTES AND DELIVERED TO THE SHIRES GRAVEL QUARRY IN DARDANUP.
16. THE CONTRACTOR IS TO ENSURE THAT THE VERGE IS REINSTATED TO ITS ORIGINAL CONDITION, TO THE SATISFACTION OF THE SHIRE OF DARDANUP. A SITE MEETING WILL BE CONDUCTED AT THE PROJECT LOCATION TO DISCUSS VERGE TREATMENTS AND OTHER JOB SPECIFICS PRIOR TO ANY QUOTE BEING ACCEPTED. CONTRACTOR TO REMOVE ALL SPOIL AND DEBRIS FROM SITE AND MAKE GOOD. ANY DAMAGE TO RETICULATION SYSTEMS TO BE REPAIRED BY CONTRACTOR.



AMENDMENT DESCRIPTION	BY	DATE	APPROVED	DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE	INFRASTRUCTURE			
A PRELIMINARY	B.B.	23.07.2021		B.B.	15.07.2021		PATHWAYS DESIGN - 2020 / 2021 CHARTERHOUSE STREET, EATON	DRAWING NO. 2021-FTP-016-02			 Administration Centre Eaton P.O. Box 7017- 1 Council Drive Eaton Western Australia 6232 ABN: 57 305 829 663
B ISSUED FOR APPROVAL	B.B.	17.08.2021		B.B.		TARDIS RECORD NUMBER					
				THIS DRAWING IS AND SHALL REMAIN THE SOLE PROPERTY OF 'THE SHIRE OF DARDANUP'. THE DRAWING MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED, AND MAY NOT BE LENT, SHOWN, COPIED OR OTHERWISE DUPLICATED WITHOUT THE WRITTEN AUTHORISATION OF THE OWNER.							Telephone 08 9724 0000 Facsimile 08 9724 0091 Online www.dardanup.wa.gov.au



LAYOUT PLAN
NOT TO SCALE

NOTE:
SITE SETOUT FOR THE SHARED PATH IS DETERMINED BY THE BACK FACE OF THE EXISTING CONCRETE KERB.
AREA OF NEW SHARED PATH = 326.55m²

NOTES:

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NOTES (Cont'd):

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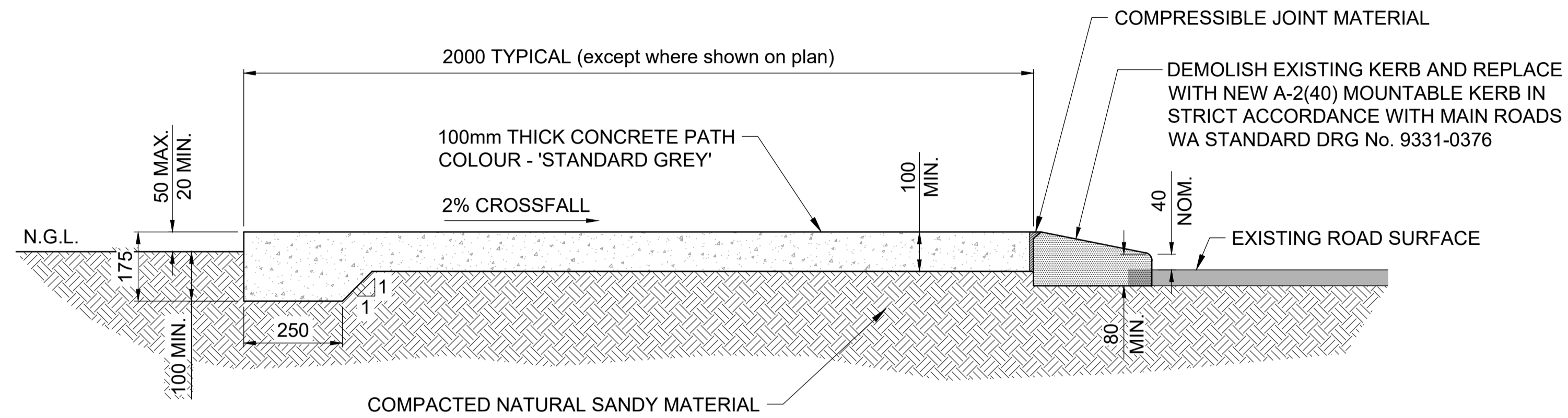
PART PLAN
NOT TO SCALE



AMENDMENT DESCRIPTION	BY	DATE	APPROVED	DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE	INFRASTRUCTURE	
A PRELIMINARY	B.B.	26.07.2021		B.B.	26.07.2021		PATHWAYS DESIGN - 2020 / 2021 MILLARD STREET, EATON	DRAWING NO.	
B ISSUED FOR APPROVAL	B.B.	05.08.2021						2021-FTP-015-01	
C KERB TYPES REVISED	B.B.	10.08.2021						DATUM.	AHD
D REVISED SCOPE OF WORKS	B.B.	22.09.2021						GRID SYSTEM	GDA94
				THIS DRAWING IS AND SHALL REMAIN THE SOLE PROPERTY OF 'THE SHIRE OF DARDANUP'. THE DRAWING MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED, AND MAY NOT BE LENT, SHOWN, COPIED OR OTHERWISE DUPLICATED WITHOUT THE WRITTEN AUTHORISATION OF THE OWNER.			PROPOSED SHARED PATH LAYOUT PLAN	SHEET NO. 1 OF 2	
							SHEET SIZE		A3
							Administration Centre Eaton P.O. Box 7017- 1 Council Drive Eaton Western Australia 6232 ABN: 57 305 829 663		Telephone 08 9724 0000 Facsimile 08 9724 0091 Online www.dardanup.wa.gov.au

NOTES:

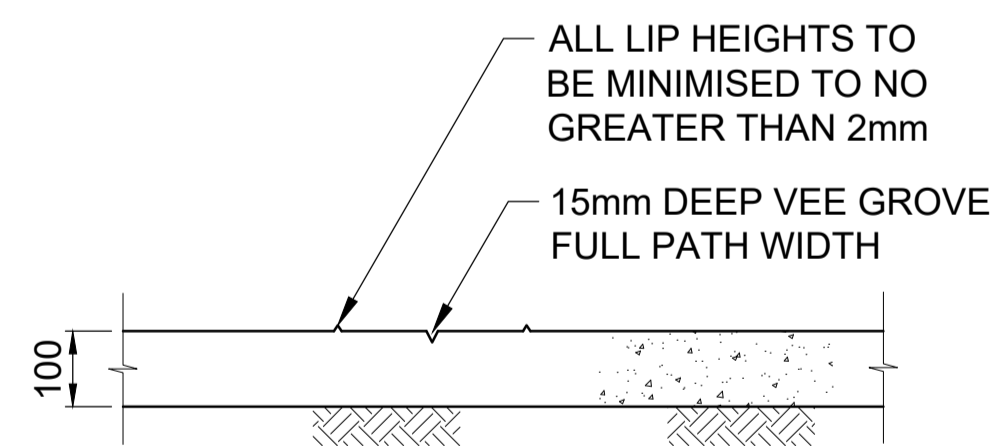
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NOTE: THE PATH IS DESIGNED TO BE A 'SHARED PATH' AS DEFINED BY 'RTC 2000' AND 'Austroads - Guide to Road Design Part 6A'.

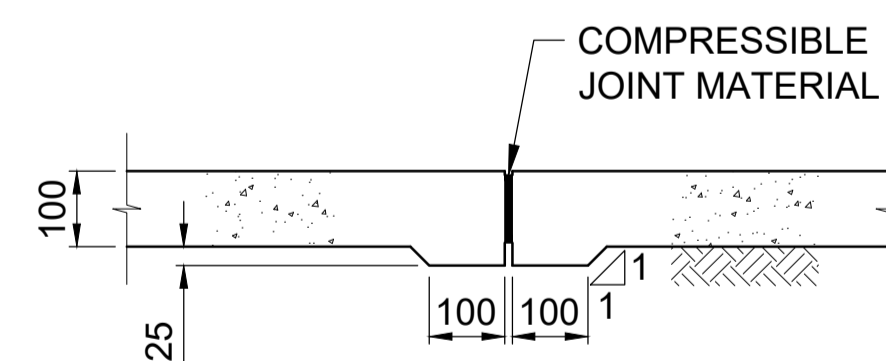
TYPICAL SHARED PATH CROSS SECTION AT MOUNTABLE KERB (CROSSOVER ONLY)

SCALE 1:20



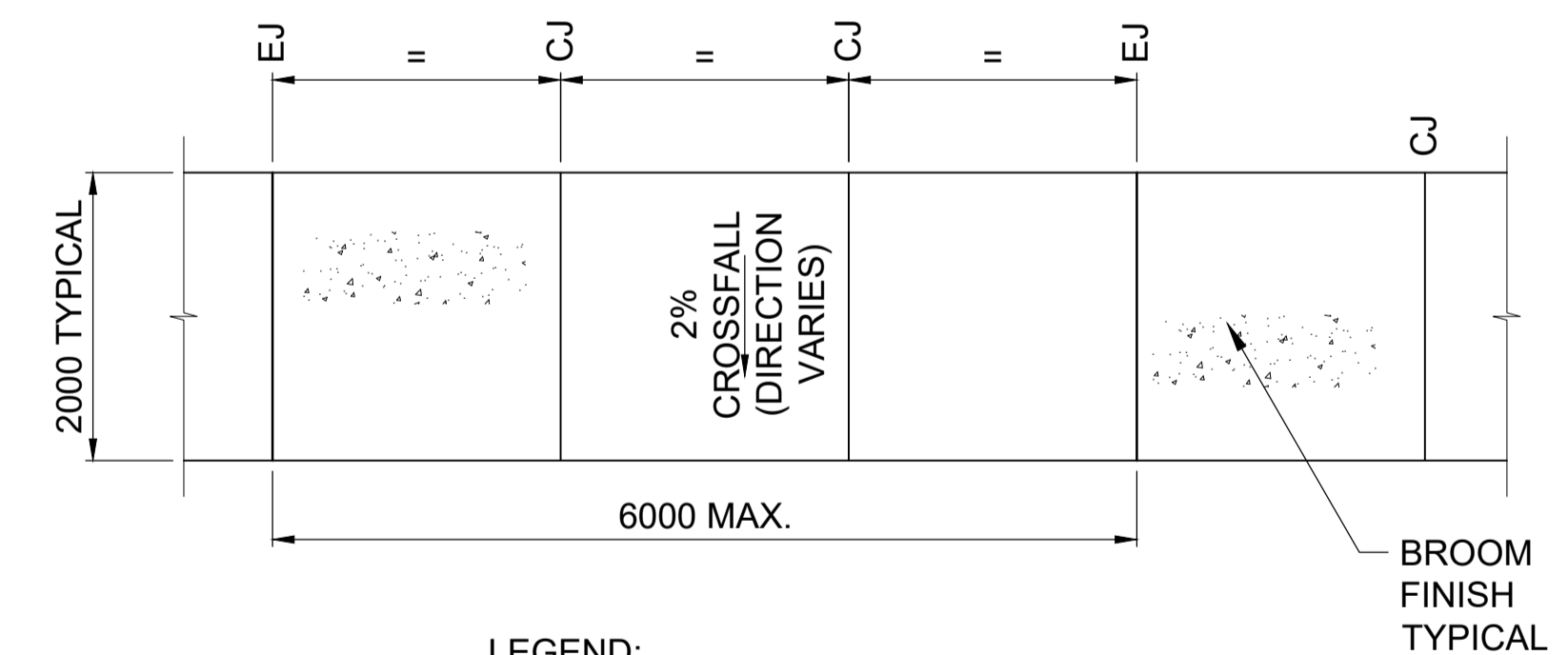
TYPICAL CONTROL JOINT DETAIL

SCALE 1:20



TYPICAL EXPANSION JOINT DETAIL

SCALE 1:20



LEGEND;
CJ - CONTROL JOINT
EJ - EXPANSION JOINT

TYPICAL PATH JOINT LAYOUT

NOT TO SCALE



AMENDMENT DESCRIPTION	BY	DATE	APPROVED	DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE	INFRASTRUCTURE		
A PRELIMINARY	B.B.	26.07.2021		B.B.	26.07.2021		PATHWAYS DESIGN - 2020 / 2021 MILLARD STREET, EATON	DRAWING NO. 2021-FTP-015-02		
B ISSUED FOR APPROVAL	B.B.	05.08.2021		DRAWN	AUTHORISED	TARDIS RECORD NUMBER				
C KERB TYPES REVISED	B.B.	10.08.2021		B.B.				DATUM: AHD GDA94	SHEET NO. 2 OF 2	SHEET SIZE A3
D REVISED SCOPE OF WORKS	B.B.	22.09.2021						GRID SYSTEM		
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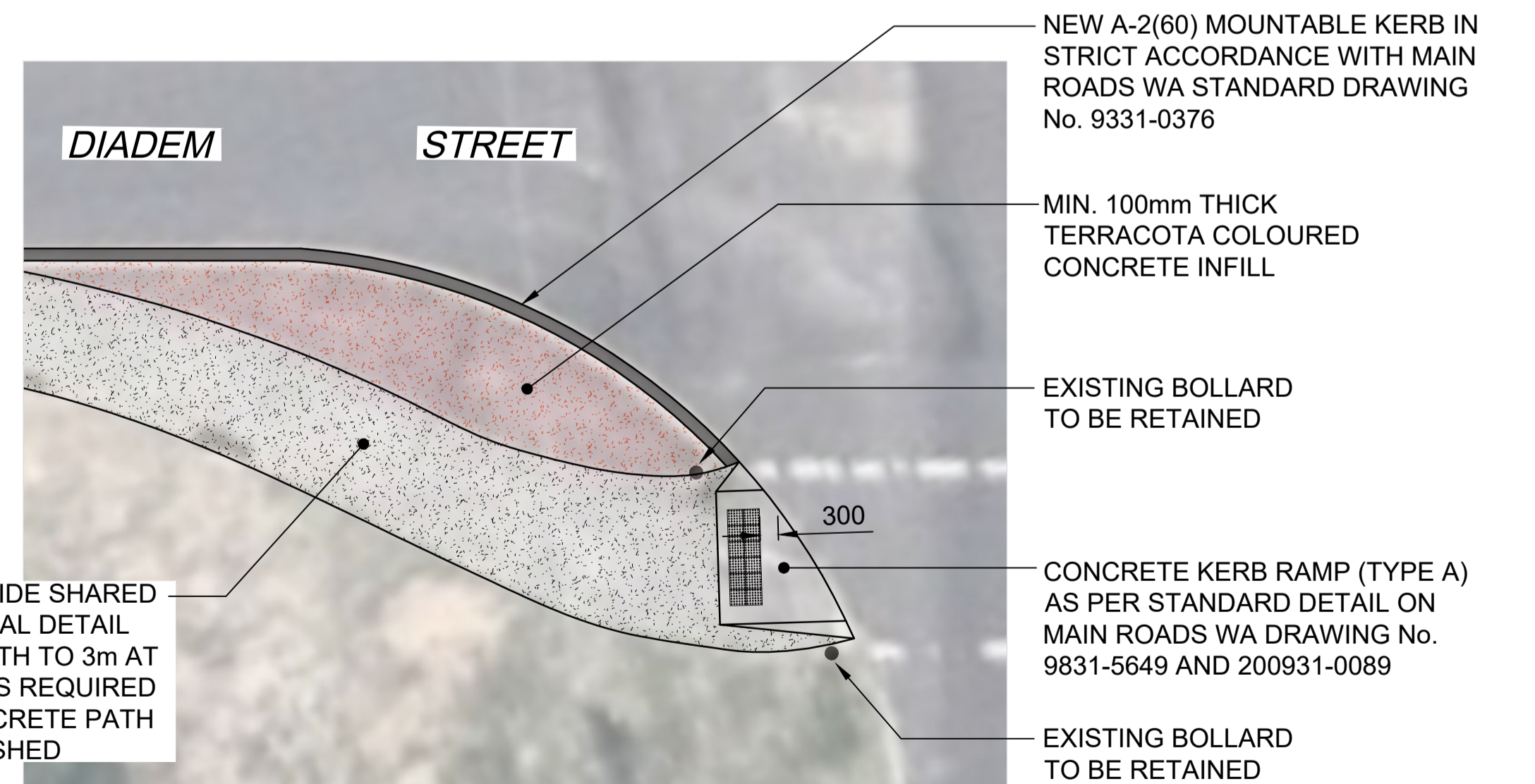
NOTES (Cont'd):

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LAYOUT PLAN

NOT TO SCALE

NOTE:
SITE SETOUT FOR THE SHARED PATH IS DETERMINED BY THE BACK FACE OF THE EXISTING CONCRETE KERB.
AREA OF NEW SHARED PATH = 484.37m²



PART PLAN

NOT TO SCALE



AMENDMENT DESCRIPTION	BY	DATE	APPROVED
A PRELIMINARY	B.B.	26.07.2021	
B ISSUED FOR APPROVAL	B.B.	05.08.2021	
C REINFORCEMENT ADDED	B.B.	10.08.2021	

DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE
B.B.	26.07.2021		PATHWAYS DESIGN - 2020 / 2021 DIADEM STREET, EATON
DRAWN	AUTHORISED	TARDIS RECORD NUMBER	
B.B.			

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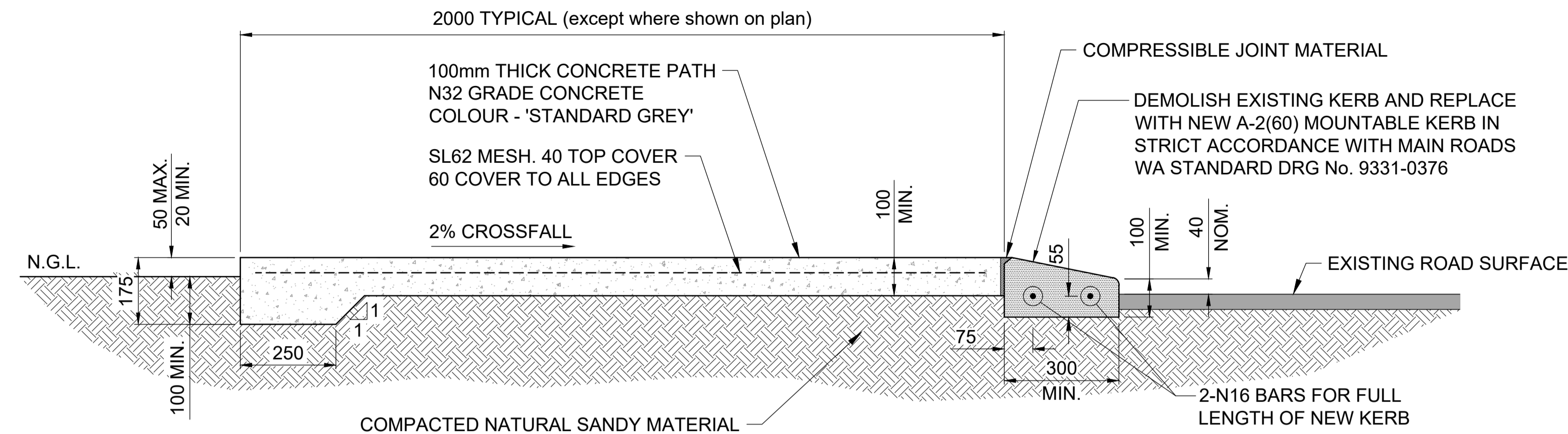
DATUM.	AHD	SHEET NO.	SHEET SIZE
GRID SYSTEM	GDA94	1 OF 2	A3

DRAWING NO.
2021-FTP-014-01

INFRASTRUCTURE

Administration Centre Eaton
P.O. Box 7017- 1 Council Drive
Eaton Western Australia 6232
ABN: 57 305 829 663

Telephone 08 9724 0000
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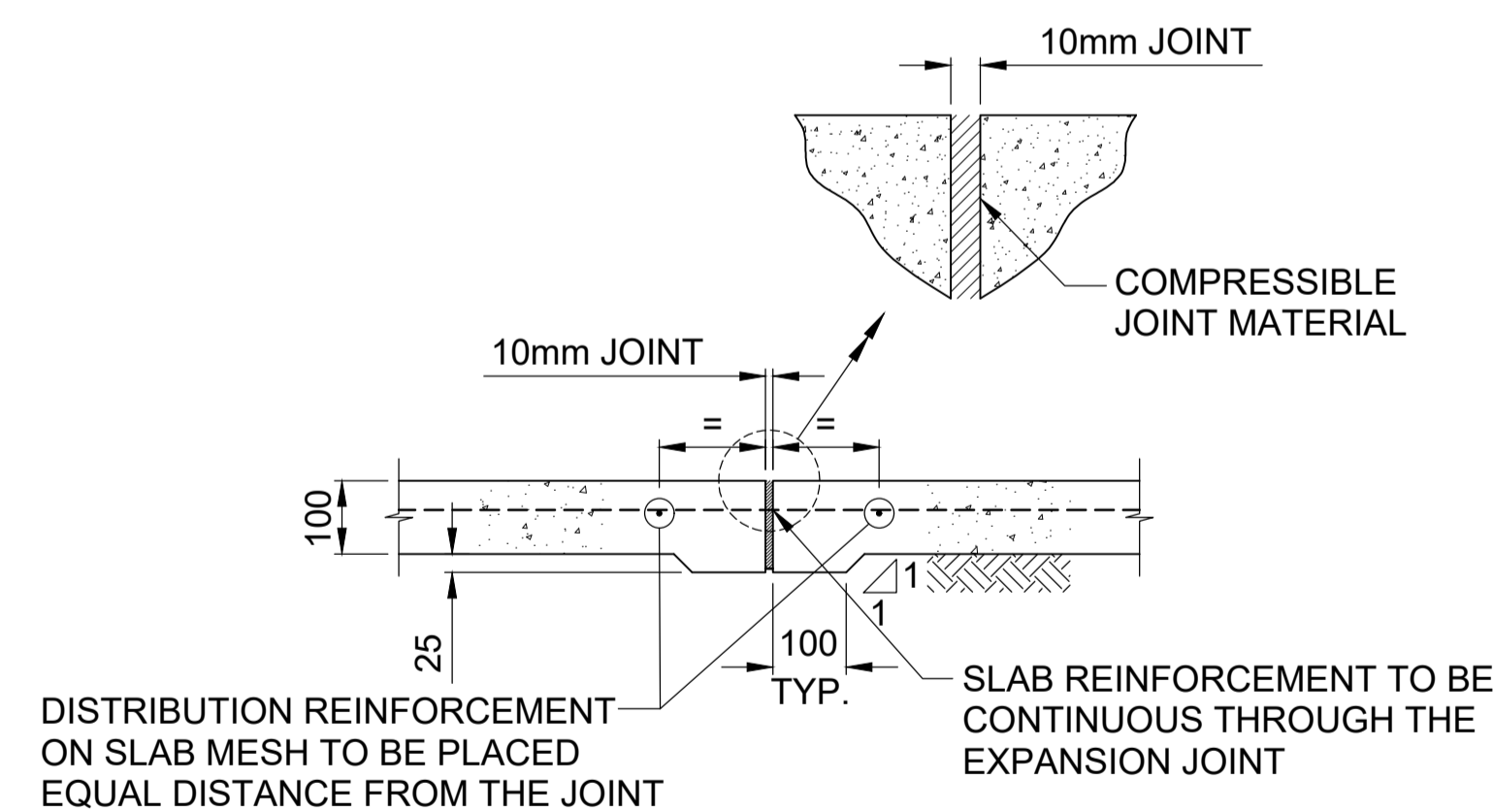
NOTE: THE PATH IS DESIGNED TO BE A 'SHARED PATH' AS DEFINED BY 'RTC 2000' AND 'Austroads - Guide to Road Design Part 6A'.

TYPICAL SHARED PATH CROSS SECTION WITH NEW KERB

SCALE 1:10

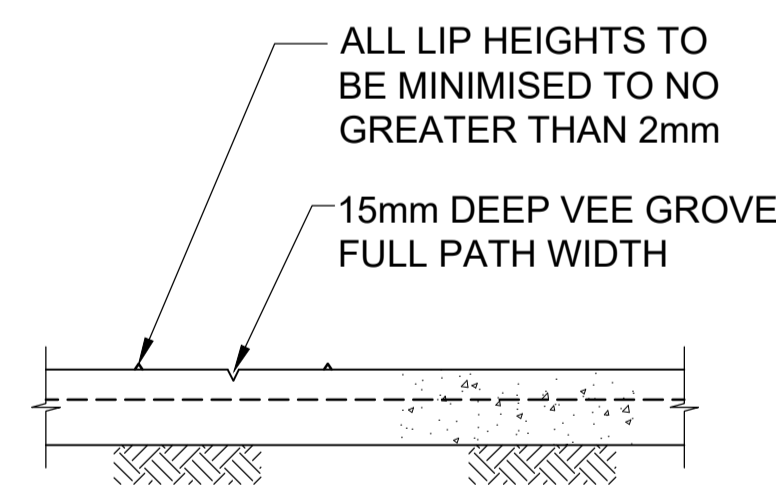
NOTES:

1. FOUNDATION TO BE COMPACTED FILL TO 90%MDD OR 7 BLOWS PER 300mm PSP.
2. ALL CONCRETE FOR PATH CONSTRUCTION TO BE A MINIMUM OF 25MPa, 20mm AGGREGATE AND MAXIMUM SLUMP OF 65mm.
3. BEDDING - NATURAL SANDY MATERIAL.
4. FINISH - BROOMED TO NON-SKID FINISH.
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6. UNLESS NOTED OTHERWISE, THE FOLLOWING COLOUR IS TO BE USED: 'STANDARD GREY' OR SIMILAR APPROVED BY SHIRE.
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13. KERB RAMPS TO MATCH COLOUR AND FINISH OF NEW CONCRETE PATH AND TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH MAIN ROADS STANDARD DRAWING 9831-5649. TGSIs TO BE AFFIXED TO EACH KERB RAMP IN STRICT ACCORDANCE WITH AS 1428.4 AND THE BCA.
14. TACTILE GROUND SURFACE INDICATORS (TGSIs) - 'TERRACOTTA' COLOUR, INTEGRATED RANGE (GLUE ON TILES) AS SUPPLIED BY TGS IPTV LTD (PH: 6364 0999) OR SIMILAR APPROVED BY THE SHIRE. CONTRACTOR TO INSTALL AS PER SUPPLIER'S SPECIFICATIONS; SHIRE OF DARDANUP STAFF ARE TO CONFIRM TGSi ORIENTATION AT EACH LOCATION TO ENSURE CONFORMANCE WITH AS1428.4.
15. ALL EXISTING PATH MATERIAL THAT HAS BEEN REMOVED SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR. ANY EXISTING CLAY OR CONCRETE PAVING BRICKS ARE TO BE STACKED ON PALETTES AND DELIVERED TO THE SHIRES GRAVEL QUARRY IN DARDANUP.
16. THE CONTRACTOR IS TO ENSURE THAT THE VERGE IS REINSTATED TO ITS ORIGINAL CONDITION, TO THE SATISFACTION OF THE SHIRE OF DARDANUP. A SITE MEETING WILL BE CONDUCTED AT THE PROJECT LOCATION TO DISCUSS VERGE TREATMENTS AND OTHER JOB SPECIFICS PRIOR TO ANY QUOTE BEING ACCEPTED. CONTRACTOR TO REMOVE ALL SPOIL AND DEBRIS FROM SITE AND MAKE GOOD. ANY DAMAGE TO RETICULATION SYSTEMS TO BE REPAIRED BY CONTRACTOR.



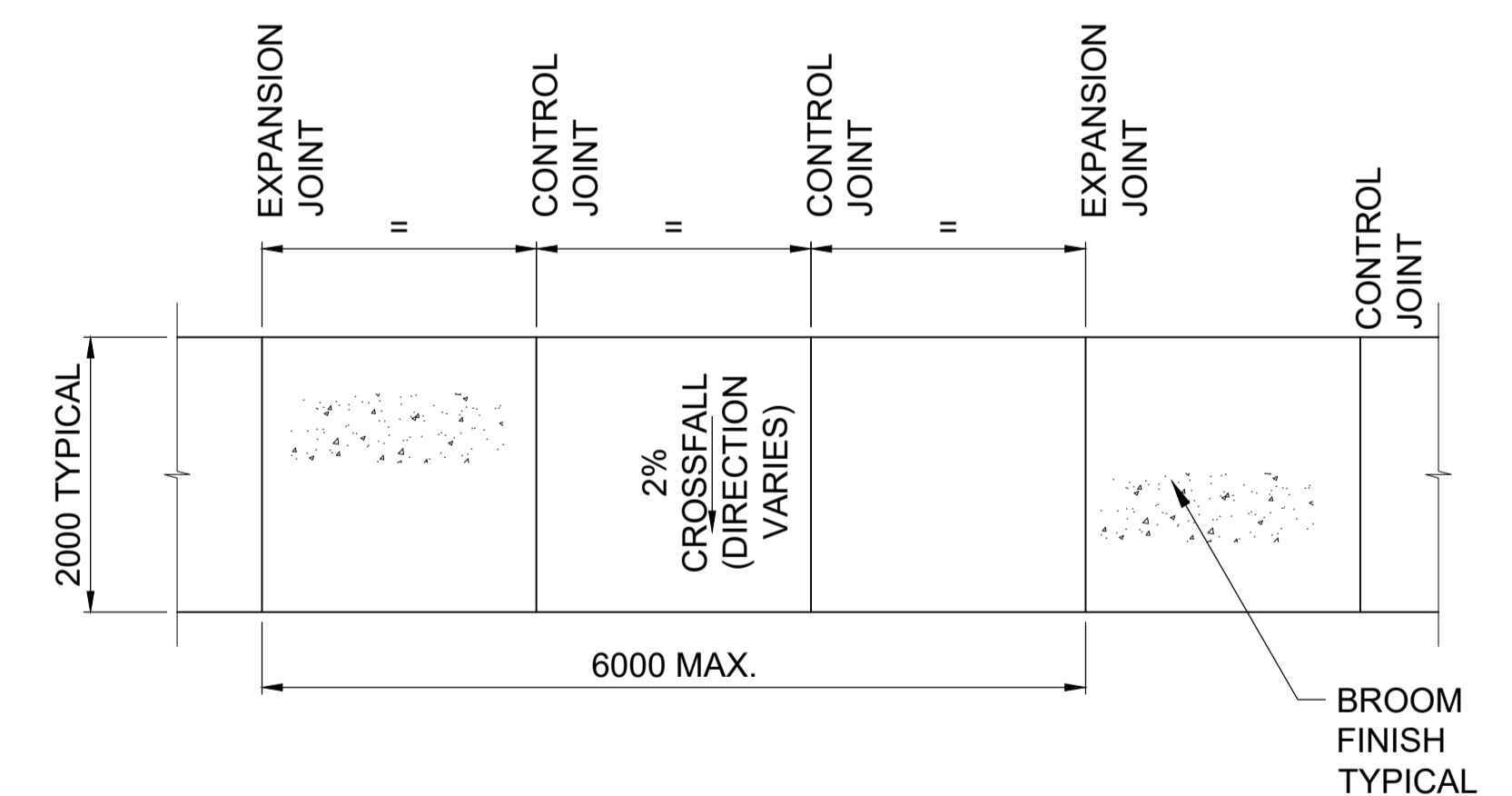
TYPICAL EXPANSION JOINT DETAIL

SCALE 1:10



TYPICAL CONTROL JOINT DETAIL

SCALE 1:10



TYPICAL PATH JOINT LAYOUT

SCALE 1:10



AMENDMENT DESCRIPTION	BY	DATE	APPROVED	DESIGNED	DRAWN DATE	SURVEYED	DRAWING TITLE	INFRASTRUCTURE			
A PRELIMINARY	B.B.	26.07.2021		B.B.	26.07.2021		PATHWAYS DESIGN - 2020 / 2021 DIADEM STREET, EATON	DRAWING NO. 2021-FTP-014-02			
B ISSUED FOR APPROVAL	B.B.	05.08.2021								Shire of Dardanup Administration Centre Eaton Telephone 08 9724 0000 P.O Box 7017- 1 Council Drive Facsimile 08 9724 0091 Eaton Western Australia 6232 Online www.dardanup.wa.gov.au ABN: 57 305 829 663	
C REINFORCEMENT ADDED	B.B.	10.08.2021									
THIS DRAWING IS AND SHALL REMAIN THE SOLE PROPERTY OF 'THE SHIRE OF DARDANUP'. THE DRAWING MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED, AND MAY NOT BE LENT, SHOWN, COPIED OR OTHERWISE DUPLICATED WITHOUT THE WRITTEN AUTHORISATION OF THE OWNER.							PROPOSED SHARED PATH TYPICAL DETAILS				

(Appendix ORD: 12.3.2B)

RISK ASSESSMENT TOOL								
OVERALL RISK EVENT: Potential Risks & Risk Action Plan for DUS Pathway								
RISK THEME PROFILE: 1 - Asset Sustainability Practices								
RISK ASSESSMENT CONTEXT: Operational								
CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
FINANCIAL IMPACT	Variations for additional scope of work not identified in the initial design such as additional drainage, service lids adjustments, kerb replacement etc	Major (4)	Likely (4)	High (12 - 19)	Ensure contingencies is built into budget to allow for any variations such as drainage, verge reinstatement etc.	Moderate (3)	Possible (3)	Moderate (5 - 11)
FINANCIAL IMPACT	Time delays due to internal resources being unavailable to assist with unplanned additional scope of work	Major (4)	Likely (4)	High (12 - 19)	Ensure proper scoping of projects. If an unforeseen issue arises ensure that the project has sufficient contingencies in budget and time to allow for these additional works to be undertaken.	Minor (2)	Possible (3)	Moderate (5 - 11)
REPUTATIONAL	Local residents unhappy with impact of works on verge fronting property affecting access and progress	Moderate (3)	Possible (3)	Moderate (5 - 11)	Ensure adequate notice of proposed works are given to residents to reduce conflict. During installation the contractor and Shire to ensure that there is proper communication to residents on how work will be undertaken to ensure the least disruption to residents.	Minor (2)	Possible (3)	Moderate (5 - 11)

(Appendix ORD: 12.3.2B)

RISK ASSESSMENT TOOL								
OVERALL RISK EVENT: Potential Risks & Risk Action Plan for DUS Pathway								
RISK THEME PROFILE: 1 - Asset Sustainability Practices								
RISK ASSESSMENT CONTEXT: Operational								
CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
REPUTATIONAL	Conflict with local traffic using the roads adjoining works	Moderate (3)	Almost Certain (5)	High (12 - 19)	Ensure adequate and appropriate traffic management measures are provided to reduce the possibility of harm and ensure the ease of movement of traffic in the area	Minor (2)	Possible (3)	Moderate (5 - 11)
REPUTATIONAL	Time overrun due to unpredictable weather	Moderate (3)	Likely (4)	Moderate (5 - 11)	Ensure that construction of pathways are not undertaken in winter months in which most rain is expected. Leave adequate time frames/schedules for projects to be completed.	Minor (2)	Possible (3)	Moderate (5 - 11)

(Appendix ORD: 12.3.3)

RISK ASSESSMENT TOOL

OVERALL RISK EVENT: Potential Risks & Risk Action Plan for DUS Pathway

RISK THEME PROFILE:

1 - Asset Sustainability Practices

RISK ASSESSMENT CONTEXT: Operational

CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
FINANCIAL IMPACT	Tree replacement costs cause budget stress	Moderate (3)	Likely (4)	High (12 - 19)	Programmed replacement over three years, included in annual budget	Minor (2)	Unlikely (2)	Low (1 - 4)
SERVICE INTERRUPTION	Ongoing customer requests to resolve tree debris	Minor (2)	Almost Certain (5)	Moderate (5 - 11)	New trees will result in less maintenance and customer requests	Minor (2)	Rare (1)	Low (1 - 4)
REPUTATIONAL	Local residents unhappy with impact of works on verge fronting property affecting access and progress	Moderate (3)	Possible (3)	Moderate (5 - 11)	Ensure adequate notice of proposed works are given to residents to reduce conflict. During installation the contractor and Shire to ensure that there is proper communication to residents on how work will be undertaken to ensure the least disruption to residents.	Minor (2)	Possible (3)	Moderate (5 - 11)
REPUTATIONAL	Conflict with local traffic using the roads adjoining works	Moderate (3)	Almost Certain (5)	High (12 - 19)	Ensure adequate and appropriate traffic management measures are provided to reduce the possibility of harm and ensure the ease of movement of traffic in the area	Minor (2)	Possible (3)	Moderate (5 - 11)
ENVIRONMENT	Replacing mature non-native trees with immature endemic species	Minor (2)	Almost Certain (5)	Moderate (5 - 11)	Non natives will be removed and replaced with endemic species which will mature over time	Minor (2)	Possible (3)	Moderate (5 - 11)

(Appendix ORD: 12.3.4)

RISK ASSESSMENT TOOL

OVERALL RISK EVENT: Item 12.3.4 – FOGO Waste Collection – Additional Fee Structure

RISK THEME PROFILE:

6 - Engagement Practices

7 - Environment Management

13 - Project/Change Management

RISK ASSESSMENT CONTEXT: Operational

CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	Putrescible wastes causing odours (e.g. nappies)	Moderate (3)	Likely (4)	High (12 - 19)	Option for a weekly collection fee	Minor (2)	Unlikely (2)	Low (1 - 4)
FINANCIAL IMPACT	Loss of funding for variations to grant structure	Moderate (3)	Likely (4)	High (12 - 19)	Fee for service arrangement offsets losses	Minor (2)	Possible (3)	Moderate (5 - 11)
SERVICE INTERRUPTION	Isolated weekly collections disrupt regular waste collection runs	Moderate (3)	Almost Certain (5)	High (12 - 19)	Waste education outreach to minimise number of weekly collections	Minor (2)	Possible (3)	Moderate (5 - 11)
REPUTATIONAL	Community backlash by NOT having alternative fees in place	Moderate (3)	Almost Certain (5)	High (12 - 19)	Alternative fee options available	Minor (2)	Possible (3)	Moderate (5 - 11)
ENVIRONMENT	Reduced diversion of organic waste to landfill	Moderate (3)	Almost Certain (5)	High (12 - 19)	Waste education outreach to increase waste diversion to FOGO	Minor (2)	Possible (3)	Moderate (5 - 11)

