



APPENDICES

BOOKLET 4

12.4.1E CONTINUED – 12.4.7

ORDINARY COUNCIL MEETING

To Be Held

Wednesday, 22nd of March 2023

Commencing at 5.00pm

At

Shire of Dardanup
ADMINISTRATION CENTRE EATON
1 Council Drive - EATON

This document is available in alternative formats such as:
~ Large Print
~ Electronic Format [emailed]
Upon request.



Moorditj Engineering



STRUCTURAL BUILDING INSPECTION REPORT

FERGUSON HALL



I. ABOUT THIS REPORT

A. REPORT DETAILS

Report on (address) (the Property):	953 Ferguson Rd, Ferguson WA 6236
Client name (the Client or you):	Shire of Dardanup
Client's phone number:	08 9724 0324
Structural Engineer:	Shah Kakakhel 4065311
Engineering License Number	

If you would like to discuss any aspect of this report please contact:

Shah Kakakhel
0416 130 219
engineering@aussiebuildings.com.au

MAP SHOWING PROBALMETIC AREAS THAT WOULD NEED RECTIFICATION SOON



In response to your engagement of Aussie Building Specialists and Geotech to undertake a Structural Inspection of the stumps of Ferguson Hall, the undersigned visited the abovementioned site to carry out an inspection.

The reason for the inspection was to identify the remaining life of all the stumps and if any needed to be replaced soon. Also, opinion was sought for replacing any stumps in the future with either a new level master adjustable house stumps system or if 100 x 100mm H5 Supa without any drastic drainage works at this site.

It is noted that the floor of the main building is constructed using Timber stumps. Some levels were checked on the main building floor and it appeared that the floor is uneven and slopes towards the front from the centre of the building. Likewise, the floor was uneven towards the kitchen side of the main hall.

From what could be seen on site, noting the inspection was visual only and no testing occurred, the stumps mostly appeared in reasonable condition. Some stumps were out of alignment with the rest of the stumps (4 to 5 stumps) which is possibly the reason for the uneven floor in the main hall.

It was also noted that the building is showing settlement on the North-Western Side, marked as Location 1, of the building which is confirmed by the sloping of the floor in the same direction and the same area. Also, some settlement was observed on the Northern side of the building marked as location 2.

The stumps movement and settlement can cause a variety of issues in the buildings some of which are:

- Joints of wall linings to open up or crack.
- Cracked paint.
- Cracking of floor and wall tiles.
- Uneven and sloping floor.
- Openings and walls to move and lean.
- Door alignment.

Although, there was no significant cracking noted throughout the building but at Location 1 particularly, Joints of wall linings could be seen opening up, and also uneven and sloping floor. If the issue is not addressed on time, it could lead to further deterioration of the building. Also, it was noted that there was no bracing installed on the stumps.

Drainage seems to be poor in the subfloor area, and as the soil is clay-based so water drainage is a particular concern that is causing the movement and settlement of stumps.

There is no urgency to completely re-stump the whole building at this stage. However, at locations 1 and 2 and where the stumps are out of alignment, it is recommended that some stumps may be replaced immediately to stop the settlement from progressing any further. It is recommended that Duragal Stumps with adjustable piers should be used. The building should be lifted at locations 1 and 2 and at locations where stumps have moved out of alignment, to make the floor even and a new steel stump as mentioned above should be installed adjacent to the old one.

This will ensure that the building can get a few more years before the whole building is restumped using Duragal stumps with adjustable heads.

Using an adjustable pier for stumps would mean, if there is any unevenness in the floor, the stumps can be readjusted, and the floor made even without spending huge capital on stump replacements again.

Based on my site visit, it is recommended to lift the building to make the floor level and install Duragal steel stumps adjacent to the existing stumps in locations 1 and 2 and all locations where the stumps are out of alignment. It is also advised to install two sets of bracing in every row to ensure the building can cater to the lateral movement caused by the wind. Also when the restumping of the building is done completely, subsoil drainage should be installed to channel the water flowing away from the subfloor area.

Please see engineering details below to ensure any restumping and bracing is done as per engineering details provided.

I trust the above is of assistance. Should you require any further clarification or information please do not hesitate to contact the undersigned.

Yours sincerely,



Shah Kakakhel

Civil, Structural and Geotechnical Consulting Engineer

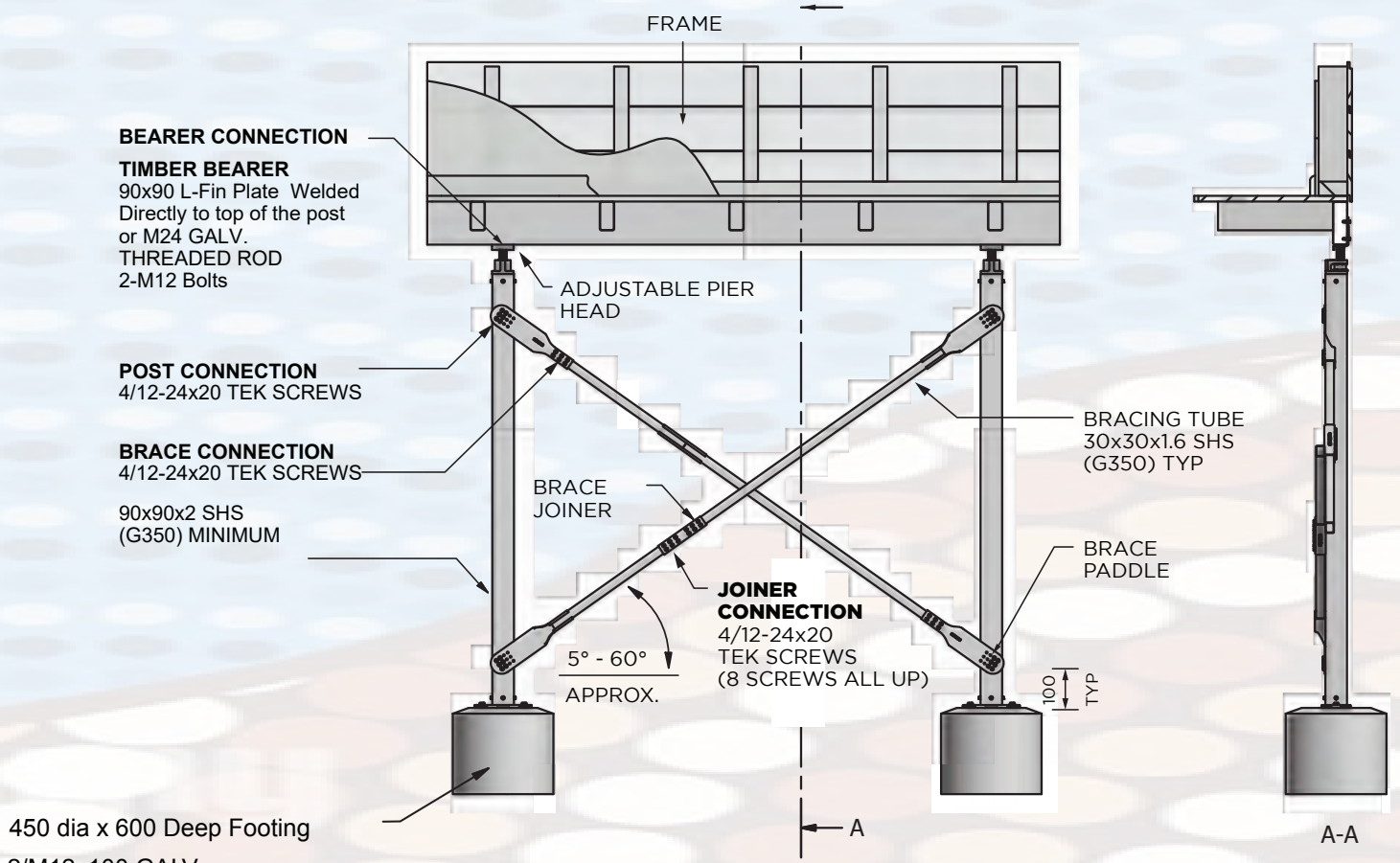
B.Eng MIEAust 4065311

Director Engineering

M:0416 130 219

Aussie Building Specialists and Geotech

24-11-2022



Two Sets of Bracing Every Row







STANLEY
FATMAX





STANLEY
FATMAX











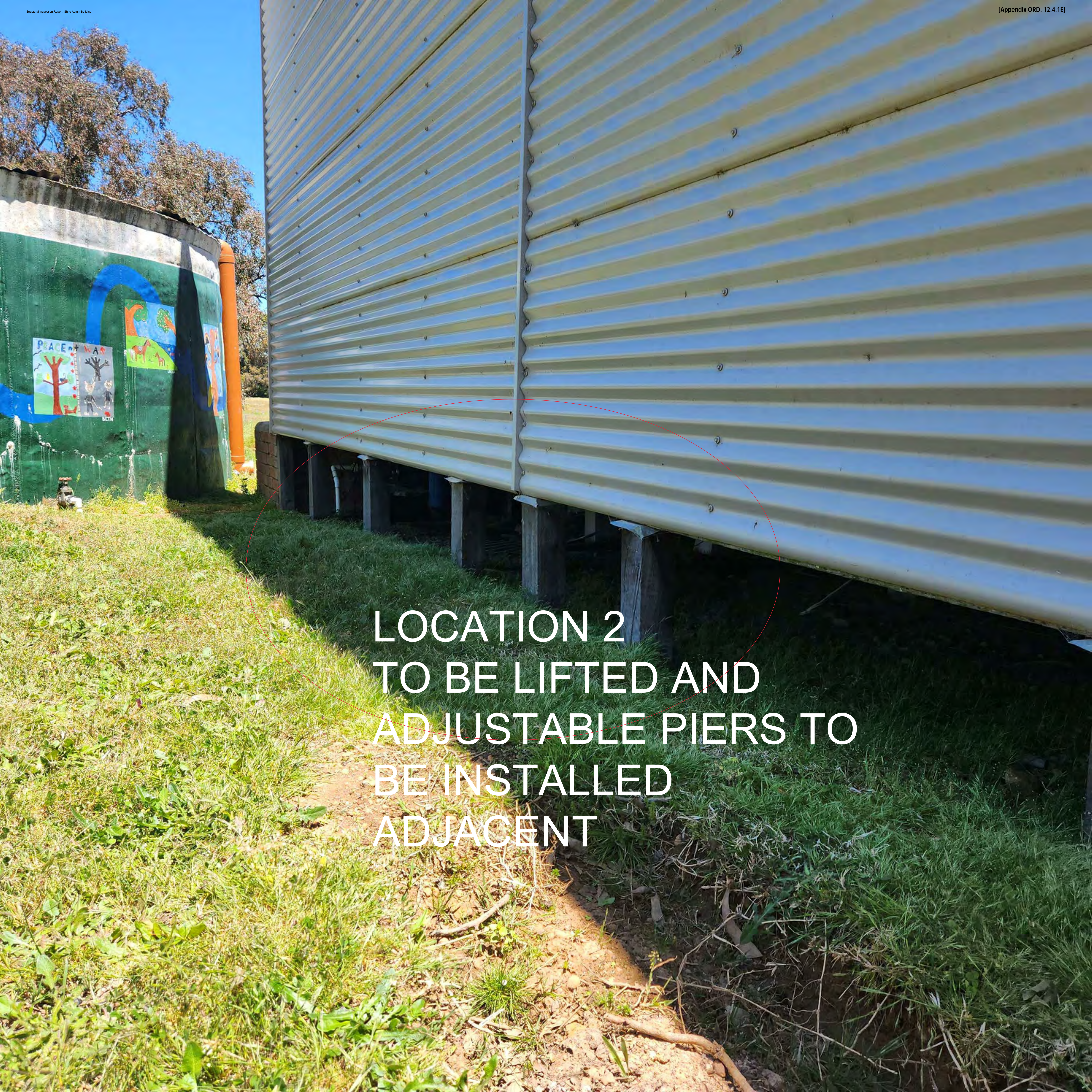












LOCATION 2
TO BE LIFTED AND
ADJUSTABLE PIERS TO
BE INSTALLED
ADJACENT



SETTLEMENT

























Poor Drainage across the subfloor area























Moorditj Engineering



STRUCTURAL BUILDING INSPECTION REPORT

WELLS RECREATION CLUB ROOMS



I. ABOUT THIS REPORT

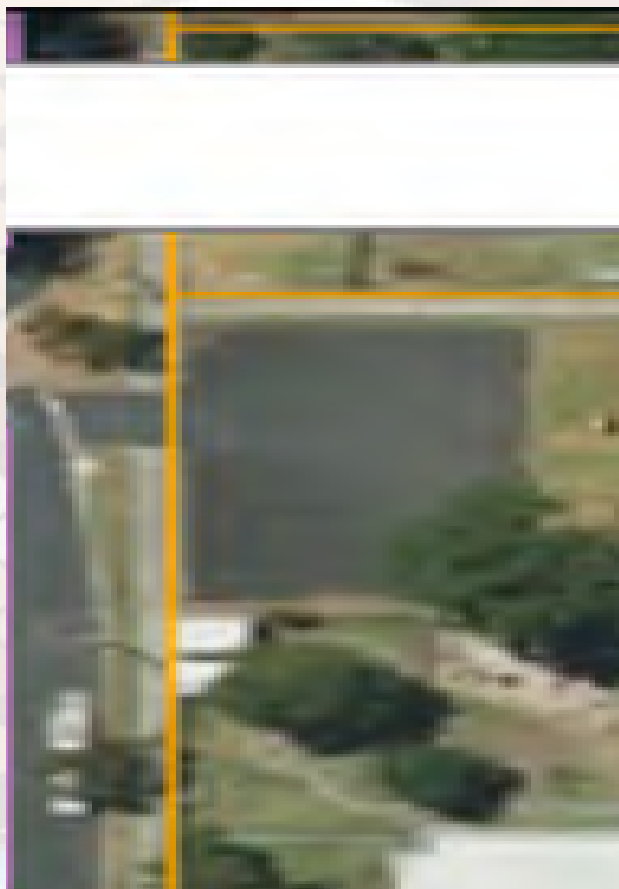
A. REPORT DETAILS

Report on (address) (the Property):	44 Ferguson Road, Dardanup, WA
Client name (the Client or you):	Shire of Dardanup
Client's phone number:	08 9724 0324
Structural Engineer:	Shah Kakakhel 4065311
Engineering License Number	

If you would like to discuss any aspect of this report please contact:

Shah Kakakhel
0416 130 219
engineering@aussiebuildings.com.au

MAP SHOWING WELL RECREATION CLUB ROOMS



In response to your engagement of Aussie Building Specialists and Geotech to undertake a Structural Inspection of the Wells Recreation Club Rooms located at 44 Ferguson Road Dardanup, the undersigned visited the above-mentioned site to carry out an inspection.

It was also requested that the defects needs to be advised in terms of priority to ascertain which defects must be addressed immediately down to which can be repaired in future due to being classified as minor structural deficiency.

Also, a recommendation to make building compliant to today's standard as well as commercially compliant should the Shire wants to change the use of the building to another purpose (see requirements as per BCA standards below)

It is noted that the floor of the building is slab on ground .

From what could be seen on site, noting the inspection was visual only and no testing occurred, There were some structural defects noted in the building , which were of mostly minor nature requiring cosmetic repairs. Likewise, defects on the external side of the building were noted which were mostly minor at this stage . The defects and their classification as Major and minor defects has been noted in the following pages along with recommendations on how to fix them.

The settlement can cause a variety of issues in the buildings some of which are:

- Joints of wall linings to open up or crack.
- Cracked paint.
- Cracking of floor and wall tiles.
- Openings and walls to move and lean.
- Door alignment.

Drainage seems to be poor in the building perimiter area, and as the soil being clay-based in dardanup area, therefore, water drainage is a particular concern that is causing the movement and settlement of the building. This may also be causing saturation of footings leading to differential settlement in the building.

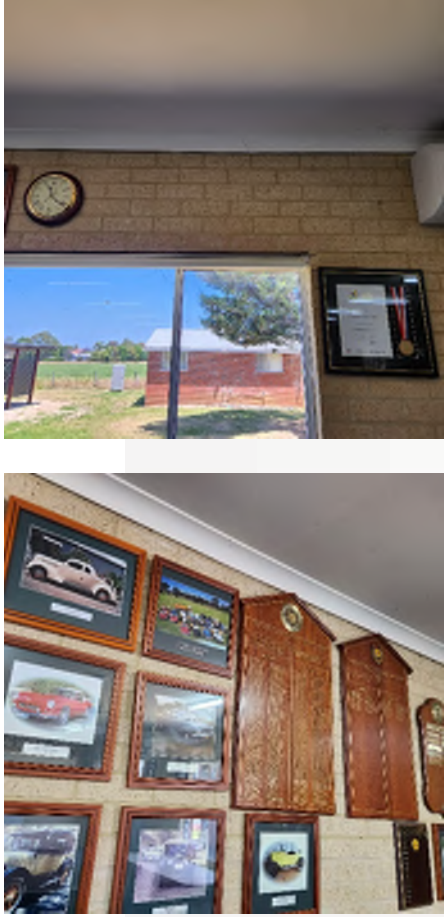
Please see recommendations and engineering details below to ensure any rectification work is done as per engineering details provided.

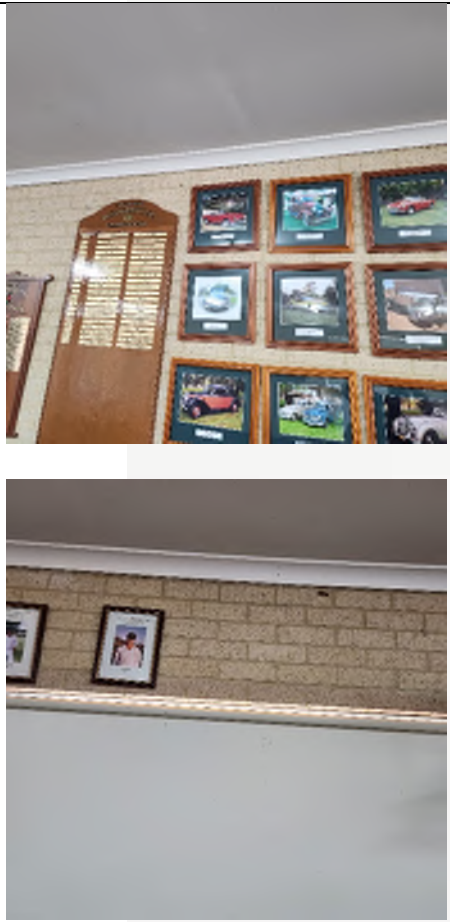
I trust the above is of assistance. Should you require any further clarification or information please do not hesitate to contact the undersigned.



Yours sincerely,


Shah Kakakhel


Shah Kakakhel
Civil, Structural and Geotechnical Consulting Engineer
B.Eng MIEAust 4065311
Director Engineering
M:0416 130 219
Aussie Building Specialists and Geotech
30-11-2022



Area Inspected	Building Inspector Comments	Engineers Comment and Classification	Rectification Recommended
		<p>Internal wall finishes: This is a minor defect. With passage of time and age of building, the cornices can deteriorate, crack split and presents gap between the walls. This is a non-structural issue.</p>	<p>Cosmetic Repairs needed.</p>


 <p>The top photograph shows a wall with a brick pattern. On the left is a wooden door with a glass panel. To the right of the door, there is a grid of nine framed pictures, each depicting a different vehicle. The bottom photograph shows a close-up of a brick wall with two framed pictures. Below the pictures is a white ledge or counter.</p>			
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		<p>This in its current state is not a major defect that. It is due to settlement but compared to other cracks this is not a major crack and can be observed over next 6 months to see the rate of progress. This can be done by putting markers and measure their width, the width of the crack should be observed at 1st month, 3rd month, and 6 months. If the crack has increased in the width, then rectification should be done, if there is no significant change in the width of the crack, then cosmetic repairs can be done to patch the crack.</p> <p>See Detail 1</p>	<p>If the crack increases in width, Underpinning method is recommended. A reinforced concrete is poured under the existing concrete. The underpinning is done 1m beyond the extent of crack on either side. Other procedure is injection grouting done by specialists' contractor, which is a quick but comparatively expensive solution. checking of compaction to confirm that stable depth, then grouting down to the depth, may provide solution to any possible further settlement issues. Performing these works to settlement areas under the guidance of a structural engineer, and subsequently sighted and signed off, by the certifying engineer, would remove the issue of further settlement potential</p>
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<p>External Defects</p>			
		<p>The roof structurally adequate however, A standard detail will be provided so that the builder can rectify the building roof as per AS1684 standards and make it compliant. This should be done once the major defects have been addressed. In its current state, it is deemed as Minor Structural Defect.</p>	<p>Detail 2 is provided for builder to rectify the works.</p>

		<p>Cracking observed to parts of the Toilet Block walls. This in its current state is not a major defect that. This is because of the load coming from the rafters on to the wall due to wind. The roof need to become compliant with AS1684 for tie downs and perhaps add more purlins. Once the work is done that cosmetically repair the area. Another reason could be settlement due to ground movement, as this is an M class site and the ground movements can be between 40mm-60mm so this can be one possibility. Poor Drainage can be another reason. Observe and go with least aggressive method of rectification i.e Make it compliant to AS1684 and then use other option.</p>	<p>If the crack increases in width, Underpinning method is recommended. A reinforced concrete is poured under the existing concrete. The underpinning is done 1m beyond the extent of crack on either side. Other procedure is injection grouting done by specialists' contractor, which is a quick but comparatively expensive solution. checking of compaction to confirm that stable depth, then grouting down to the depth, may provide solution to any possible further settlement issues. Performing these works to settlement areas under the guidance of a structural engineer, and subsequently sighted and signed off, by the certifying engineer, would remove the issue of further settlement potential</p>
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		<p>This in its current state is not a major defect that. It is due to settlement but compared to other cracks this is not a major crack and can be observed over next 6 months to see the rate of progress. This can be done by putting markers and measure their width, the width of the crack should be observed at 1st month, 3rd month, and 6 months. If the crack has increased in the width, then rectification should be done, if there is no significant change in the width of the crack, then cosmetic repairs can be done to patch the crack.</p> <p>See Detail 1</p>	<p>If the crack increases in width, Underpinning method is recommended. A reinforced concrete is poured under the existing concrete. The underpinning is done 1m beyond the extent of crack on either side. Other procedure is injection grouting done by specialists' contractor, which is a quick but comparatively expensive solution. checking of compaction to confirm that stable depth, then grouting down to the depth, may provide solution to any possible further settlement issues. Performing these works to settlement areas under the guidance of a structural engineer, and subsequently sighted and signed off, by the certifying engineer, would remove the issue of further settlement potential</p>
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It should be noted that any cracks founds, beside the one mentioned above, that exhibit similar nature as the Cracks that have been deemed Major Defects in above list, will need to be addressed the same way as recommended in the report.

1. BCA Assessment

1.1.1 Structural Provisions

Any new structural works are to comply with the applicable requirements of BCA Part B and the applicable referenced documents of Schedule 4 including the AS 1170 suite.

The building is assessed as being of importance level 2 in accordance with AS 1170, the structural engineer should confirm.

Any glazing, including external glazed assemblies, shall comply with AS1288-2006 – Glass in Buildings – Selection and Installation, including Amendments 1, 2 and 3.

Any external glazed assemblies shall also comply with AS2047-2014 – Windows and external glazed doors in buildings.

Fire Resistance Levels (FRLs) of building elements as specified in Table 3 of the BCA for Type C construction are to be confirmed by a structural engineer in accordance with Schedule 5 of BCA 2019.

Prior to the issue of the relevant Construction Certificate, structural certification is required to be provided confirming the building is structurally adequate for the proposed works and the structural design complies with the requirements of Section B & Parts C1, C2, C3 of the BCA.

It is noted that the Northern elevation to Warehouse 3 is located within 3m from the boundary and therefore is required to be provided with an FRL as per the provisions of the BCA. Should it be proposed that the wall be provided with construction which does not achieve an FRL, the construction will be required to be addressed as part of the fire engineering against Performance Requirement CP1 & CP2 of the BCA.

N 1.2 Protection of Openings

From the information provided the building appears to be set back more than

- 3m from a neighbouring lot boundary not bound by a road,
- 6m from another Class 2-9 building on the allotment,
- 6m from the far boundary of a road.

The building appears to comply with the deemed-to-satisfy provisions of the BCA.

1.3 Fire Hazard Properties

The fire hazard properties of all lining materials including fixed surface linings and mechanical ductwork will also need to be addressed within the detailed documentation phase pursuant to specification C1.10 Building Code of Australia.

1.4 Egress

The egress provisions from the proposed buildings are assumed will be provided by:

- Perimeter exits around each elevation of the building and
- Internal stair cores leading from upper levels to ground.

Further detailing of the exits should be undertaken a Construction Certificate stage including:

- Door Hardware
- Exit door operation
- Any internal and/ or external change in levels to the point of connection to the road.

1.4.1 Exit Travel Distances

The locations of the proposed exits would appear to indicate that the deemed to satisfy provisions in terms of exit travel distances are exceeded for the building, as detailed below.

Class 5

- 20m to a single exit or point of choice and where two exits are provided, a maximum of 40m to one of those exits; and
 - Distance between exits shall not be more than 60m apart and not closer than 9m.
- It is anticipated that the following areas will exceed the maximum allowable travel distance:

1.4.2 Dimensions of Exits

Minimum dimensions of 1000mm and 2000mm height to be provided within exits, the paths of travel should provide a minimum width of 1000mm.

The aggregate exit width caters for the maximum number of occupants when the population is determined in accordance with D1.13. Maximum occupant numbers are required to be confirmed to finalise the assumptions referred to with the D1.13 calculations undertaken.

The following doors are required to be designed to swing in the direction of egress:

- External exit doors

Doorways are permitted to contain a clear opening width of 750mm with a height of 1980mm as part of egress requirements. Access for persons with disabilities however requires a clear doorway opening width of 850mm (i.e. minimum 920 mm doors).

1.5 Access for Persons with a Disability

In accordance with D3.1 and Table D3.1 of the BCA, access for people with a disability is to be provided to and within areas normally used by the occupants.

BCA D3.4 details when buildings are not required to be accessible; when access would be inappropriate because of the particular purpose for which the building is used. Areas such as plant rooms may be exempted from access provisions on this basis.

The accessible path of travel from any accessible car bays and the lot boundary to the building's entrances in accessible areas is to meet the requirements of AS 1428.1-2009, including any changes in levels including door thresholds.

Details are to demonstrate compliance at Construction Certificate stage.

1.6 Fire Suppression Services & Equipment

The following fire services will need to be provided throughout the building:

- Fire hydrants in accordance with Clause E1.3 of the BCA and AS 2419.1-2005,
- Fire hose reels in accordance with Clause E1.4 of the BCA and AS 2441-2005,
- Fire sprinklers in accordance with Clause E1.5 of the BCA and AS2118.1-2017,
- Portable Fire Extinguishers in accordance with clause E1.6 of the BCA and AS 2444-2001 (Class AE or E type Portable fire extinguishers are to be located to cover emergency switchboard areas).

A fire safety schedule has been drafted in Appendix C, the schedule lists buildings required

the fire safety measures and their standards of performance. The schedule is subject to change as design development continues and will be finalised once a Construction Certificate is issued.

1.6.1 Fire Hydrants Not applicable as Building is less than 500sqm floor area

A fire hydrant system is required to be provided as the buildings have a floor area exceeding 500m². This system is required to comply with the requirements of BCA Clause E1.3 and AS2419.1-2005.

A booster assembly will be required to be provided as part of the fire hydrant system requirements. The booster is required to be located within the site of the main entry of the building. If remote from the building at the main vehicle entry or within sight of the main entry of the building within 20m of a hardstand area.

Should it be proposed that the booster is not located within site of the main entry of the building, the booster location will be required to be assessed against the Performance Requirements of the BCA and will be required to be developed in consultation with Fire and Rescue WA.

Should it be proposed that for hydrants to be located under an awning, (and used as an external hydrant for the purposed of coverage), the hydrant locations will be required to be assessed against the Performance Requirement EP1.3 of the BCA and will be required to be developed in consultation with Fire and Rescue WA.

Design documentation is to be provided by a Competent Fire Safety Practitioner to confirm compliance.

1.6.2 Fire Hose Reels Not applicable as Building is less than 500sqm floor area

A fire hose reel system is required to be provided as the buildings have a floor area exceeding 500m². This system is required to comply with the requirements of BCA Clause E1.4 and AS 2441-2005.

Fire hose reels are to be located within 4m of exits and provide coverage within the building based on a 36m hose length.

Should it be proposed that 50m fire hose reels be utilised in lieu of 36m fire hose reel lengths, or fire hose reels be proposed to be located greater than 4m from an exit, the hose reel locations will be required to be assessed against the Performance Requirements of the BCA and will be required to be developed in consultation with Fire and Rescue WA.

1.6.3 Fire Sprinklers

An Automatic Fire Suppression system is required to be provided to Specification E1.5 and AS2118.1-2017 throughout the buildings.

An occupant warning system that is triggered upon activation of the sprinkler system is required to be provided in accordance with BCA Specification E1.5.

Should it be proposed for the sprinkler booster and suction point to not be located adjacent to the fire hydrant booster and within sight of the main entrance of the building, the sprinkler booster and suction point location will be required to be assessed against the Performance Requirements of the BCA and will be required to be developed in consultation with Fire and Rescue WA.

Please note that access to the sprinkler booster and suction point are required to be provided in accordance with Fire & Rescue WA Policy. Should access not be provided in accordance with Fire & Rescue WA Policy, this will be required to be assessed against the Performance Requirements of the BCA and will be required to be developed in consultation with Fire and Rescue WA.

1.6.4 Portable Fire Extinguishers

Portable Fire Extinguishers are required in accordance with clause E1.6 of the BCA and AS2444-2001 throughout the buildings.

- ▣ Kitchen areas to cover Class F fire risks involving cooking oils and fats
- ▣ Emergency services switchboards (if installed) to cover class AE or E fire risks

1.6.5 Emergency Lighting and Exit Signage

The buildings are required to have emergency lighting and exit signage to guide occupants towards the safety of the external assembly points which should be an area of unlimited tenability, directly connected to the road.

Emergency exit signage details should be provided to demonstrate egress paths throughout the building to the point of connection of open space to the road.

Design documentation is to be provided to confirm compliance at Construction Certificate stage.

1.7 Smoke Hazard Management

Smoke hazard management shall be provided throughout the building by means of the following systems:

- Smoke exhaust system in accordance with the requirements of clause E2.2, Spec E2.2b of the BCA and AS 1668.1-2015

Should a smoke exhaust system be proposed to not be provided to the buildings in accordance with the deemed-to-satisfy provisions of the BCA, the omission of the smoke exhaust will be required to be assessed against the Performance Requirements of the BCA and will be required to be developed in consultation with Fire and Rescue WA.

A fire indicator panel is required as part of the detection system. This panel is to be located within the main entry and a block plan complying with the requirements of Clause 3.10 of AS1670.1 2015 should be provided beside the FIP.

Throughout the development the provision of natural or mechanical ventilation is required to all habitable rooms in accordance with F4.5 Building Code of Australia and AS 1668 and AS/NZS 3666.1.

1.8 Sanitary Facilities

Sanitary provisions are required to be installed in accordance with the provisions of BCA Part F2. This includes the provision of a unisex accessible sanitary facility designed and

installed in accordance with AS 1428.1-2009 requirements. An ambulant cubicle is required in both the male and the female toilet blocks.

From the documentation provided the sanitary facilities appear to be within the office and ancillary support areas on each level. Each toilet block appears to be of a similar design and therefore will accommodate a similar number of occupants. For the purposes of this report, sanitary facilities have been calculated based on staff requirements for the class 7b storage use based on a 50/50 gender split, male/ female.

Sanitary facilities layout to be provided for further assessment.

1.9 Light and Ventilation

Throughout the development, the provision of natural or mechanical ventilation is required to all habitable rooms in accordance with F4.5 Building Code of Australia and AS 1668.2 - 2012 and AS/NZS 3666 (as regulated in the Public Health Regulations 2012).

Artificial light must be provided to all habitable rooms in accordance with AS 1680.0-2009.

1.10 Energy Efficiency

The proposed development shall comply with Part J of the BCA as required by WA J(A) and J(B) provisions. To achieve compliance, certification from a suitably qualified energy consultant should be provided at Construction Certificate stage.

Access for maintenance is to be provided to the building in accordance with the requirements of BCA Part J8.

Certification from an appropriately qualified engineer should be provided with report and/or computations outlining how compliance is achieved.



Shire of Dardenup Administration Centre, Little Street, Dardanup, Western Australia

Pre-Purchase Structural Property Report



16th May, 2022

PRE-PURCHASE STRUCTURAL PROPERTY REPORT

Report number:	6066277
Inspection Date:	11th May, 2022
Property Address	Shire of Dardanup Administration Centre, Little Street, Dardanup, Western Australia

Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant is a Structural Building Condition Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

This Structural Building Condition report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

Terms on which this report was prepared

Property report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

If the Client requires a structural integrity report that is not subject to the limitations of Structural Building Conditions Inspections, the Client should engage a Structural Engineer

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

[Appendix ORD: 12.4.1E]

Structural Inspection Report -Shire Admin Building

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. A visual only inspection may be of limited use to the Client, particularly where the cause/source of a defect cannot be determined by visible inspection only. In addition to a visual inspection and in order to thoroughly inspect the Readily Accessible Areas of the property the consultant may carry out necessary non invasive tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. The Report is not a structural integrity report. **Where a structural building condition inspection is conducted then the Inspection and Report forms an assessment of the observable structural condition of the property at the time of the inspection only, and is not, and should not, be considered an assessment of structural integrity.**
6. Structural condition reports will be undertaken in accordance with Appendix A Pre-Purchase Structural Inspection Reports, where the inspection is also limited to the assessment of structural elements to the interior and exterior of the building of the particular residence to be inspected. Further, with respect to structural condition inspections and reports, non-structural elements; any aspect or component of the property that cannot be seen or that requires testing and/or measurement to determine soundness; any area or item that was not, or could not be, observed by the inspector; general maintenance other than that which is deemed to be directly related to the ongoing structural performance of the property; and serviceability damp defects such as condensation, rising damp, lateral damp and falling damp, will only be assessed and reported on where structural damage has occurred, is occurring, or may occur.
7. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
8. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Special conditions or instructions

Special conditions or instructions	There are no special conditions or instructions.
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The parties

Pre-engagement inspection agreement number:	6066277
Name of Client:	Shire of Dardanup c/o Belinda Vanvuuren
Name of Principal:	
Address of Client:	
Client's email:	belinda.vanvuuren@dardanup.wa.gov.au
Client's telephone number:	0427 783 141

SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

PROPERTY REPORT - SUMMARY

In respect of significant items:

Evidence of Serious Safety Hazards	Was observed - see Section D, Item D1
Evidence of Major Defects	Was observed - see Section D, Item D2 - D21
Evidence of Minor Defects	Outside the scope of the inspection
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	High. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".	Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration. Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.
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A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

GENERAL DESCRIPTION OF THE PROPERTY

Residential building type:	Library and administration building
Number of storeys:	Single storey.
Approximate building age:	75 years
Approximate year when the property was extended:	50 years
Smoke detectors:	Undefined
Siting of the building:	Towards the middle of a large block.
Gradient:	The land is gently sloping.
Site drainage:	The site appears to be poorly drained.
Access:	Reasonable pedestrian and vehicular access
Main utility services:	The following services were connected: Electricity, Gas, Water, Sewer
Occupancy status:	Occupied and fully furnished
Orientation (to establish the way the property was viewed):	The facade of the building faces west Note: For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry

PRIMARY METHOD OF CONSTRUCTION

Main building - floor construction:	Part suspended timber framed and slab on ground
Main building - wall construction:	Cavity brick
Main building - roof construction:	Coloured metal sheeting, Timber frame
Other timber building elements:	Windows, Doors, Reveals, Architraves, Skirtings, Mouldings, Fascias/Barges, Flooring, Cabinets
Additional Details:	
Overall standard of construction:	Reasonable

Overall quality of workmanship and materials:	Reasonable
Level of maintenance:	Reasonably maintained

INCOMPLETE CONSTRUCTION

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?	No evidence found
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Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

ACCOMMODATION & SIGNIFICANT ANCILLARIES

Room Type: Separate toilet	Quantity: 2
Room Type: Library rooms	Quantity: 2
Room Type: Admin / reception	Quantity: 1
Room Type: Enclosed offices	Quantity: 2
Room Type: Open office area	Quantity: 1
Room Type: Council chambers	Quantity: 1
Room Type: Kitchen	Quantity: 1
Room Type: Storage / compactus	Quantity: 1

PARKING

Type: Off street Uncovered	Quantity: Undefined
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SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, and are accessible by safe use of a ladder up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry.

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

[Appendix ORD: 12.4.1E]

Structural Inspection Report -Shire Admin Building

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

AREAS INSPECTED

The inspection covered the Readily Accessible Areas of the property	Building Interior, Building Exterior, Roof Exterior, Roof Space, Subfloor Space, The site including fences
Additional comments:	Roof cover viewed from the ground and ladder due to roof condition and height restrictions, Subfloor only partially inspected due to a single floor hatch only being found, Roof space restricted due to roof overlapping to some areas at addition connection

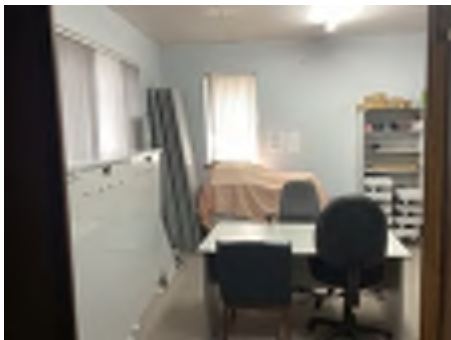
STRATA OR COMPANY TITLE PROPERTIES

Was the inspection of a strata or company title property (eg a home unit or townhouse)?	No
Was the inspection limited to assessing the interior or exterior of a particular unit?	Not applicable

OBSTRUCTIONS

Were there any obstructions that may conceal possible defects?	The following obstructions may conceal defects:
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Obstruction Photos



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



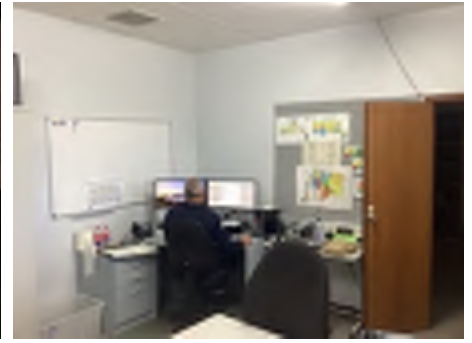
Showing example of insulation and AC duct to the ceiling space



Showing example of insulation and AC duct to the ceiling space



Showing example of insulation and AC duct to the ceiling space



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



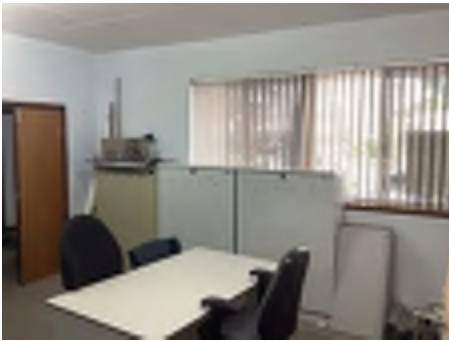
Showing example of furniture and stored goods throughout the property



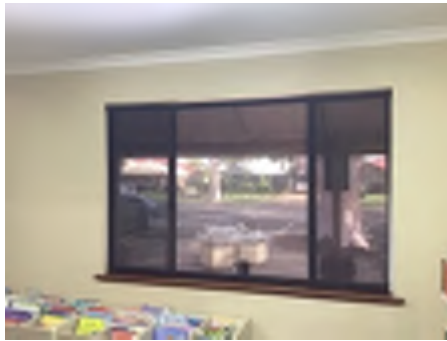
Showing example of landscaping and gardens



Showing example of landscaping and gardens



Showing example of window furnishings



Showing example of window furnishings



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of framing and low clearance in the roof space



Showing example of framing and low clearance in the roof space



Showing example of framing and low clearance in the roof space



Showing example of external fixtures



Showing example of external fixtures

INACCESSIBLE AREAS

<p>Were there any normally accessible areas that did not permit entry?</p>	<p>There was no inspection of:</p>
<p>Inaccessible Areas:</p>	<p>No inspection of roof exterior where access is restricted due to height restrictions. No inspection of subfloor areas where access hatches were not located. Partial inspection of the roof space due to access restrictions.</p>

Inaccessible Area Photos



Showing no access to roof exterior due to height restrictions



Showing no access to roof exterior due to height restrictions



Showing examples of subfloor hatches found



Showing examples of obstructions to roof space areas

Showing examples of obstructions to roof space areas

UNDETECTED DEFECT RISK ASSESSMENT

<p>Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:</p>	<p>High</p>
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A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

<p>Additional comments:</p>	<p>Recommend further inspection once vacant and obstructions removed, Recommend removing all wall and ceiling coverings around areas with termite workings to determine if there is any concealed damage to the framing, Recommend further invasive inspection to the framing around areas with termite workings to determine if there is any concealed damage, Recommend further inspection to the upper roof exterior when safe access is gained, Recommend further inspection when access is gained to all areas</p>
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SECTION D PROPERTY REPORT

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

SERIOUS SAFETY HAZARDS

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

<p>D1 Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:</p>	<p>The following evidence was found</p>
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<p>Additional Comments:</p>	<p>Cords to the window furnishings are not secured with a closed loop in the cords - recommend securing or repairing to reduce the risk of personal injury. Large glass panels and that could be mistaken for openings do not all have an identifiable mark i.e. sticker as required by building requirements. Recommend engaging a glazier to repair to reduce the risk of personal injury. The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury. Exposed wiring connections observed. Recommend engaging an electrician to investigate and repair to reduce the risk of damage and injury.</p>
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Safety Hazard Details



Showing examples of window furnishing cords



Showing examples of door and/or window glazing panels



Showing examples of door and/or window glazing panels



Showing oven



Showing examples of wires

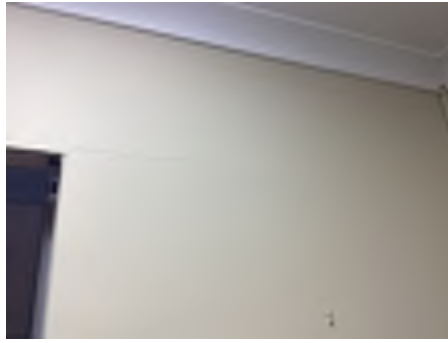
INSIDE CONDITION - MAJOR DEFECTS

<p>D2 Ceilings</p>	<p>No evidence of Major Structural Defect and/or Safety Defect was found</p>
<p>D3 Internal Walls</p>	<p>The following evidence of Major Structural Defects and/or Safety Defects was found</p>

Internal Wall Defects



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



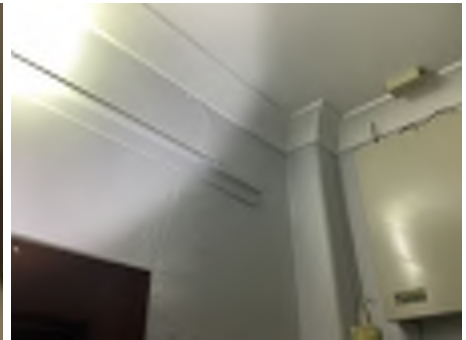
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



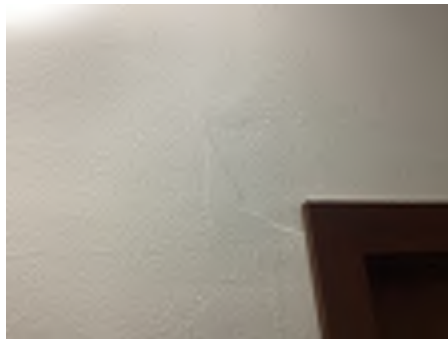
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



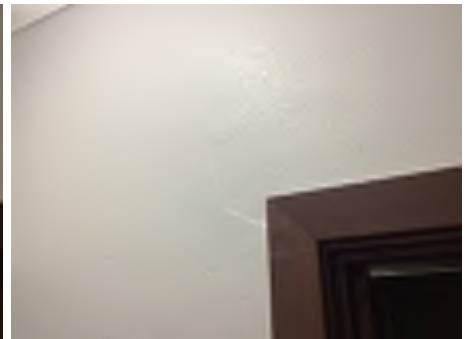
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



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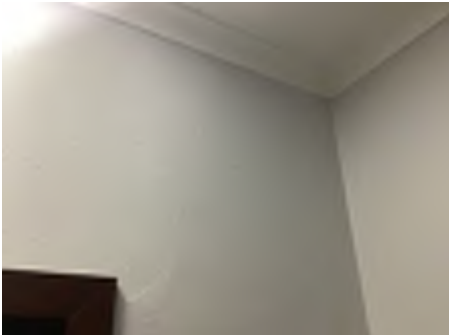
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



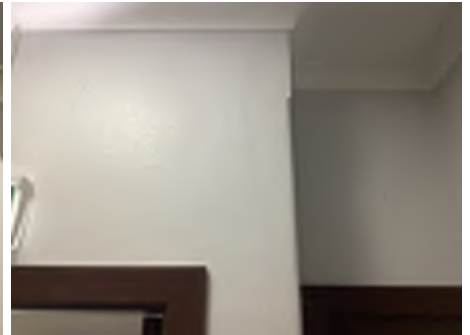
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



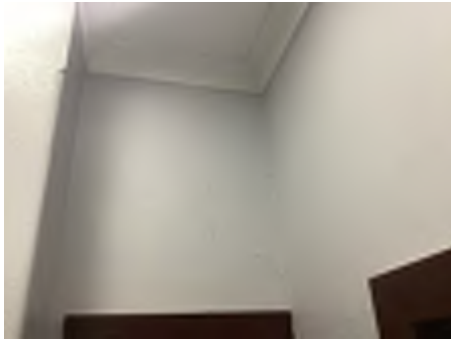
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



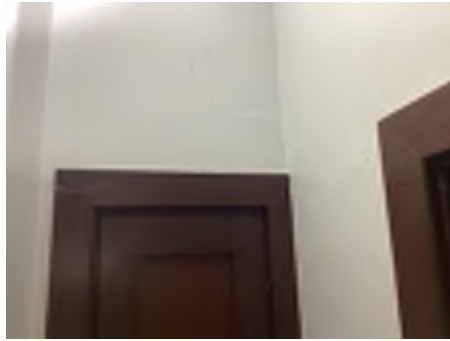
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



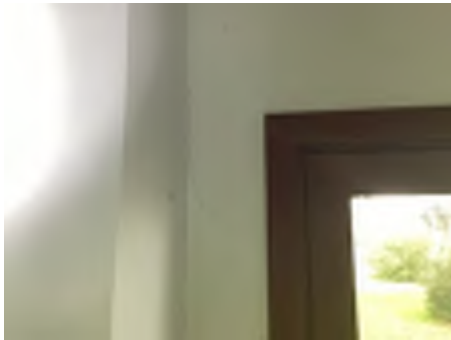
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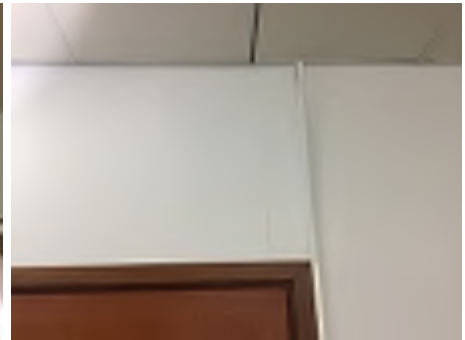
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



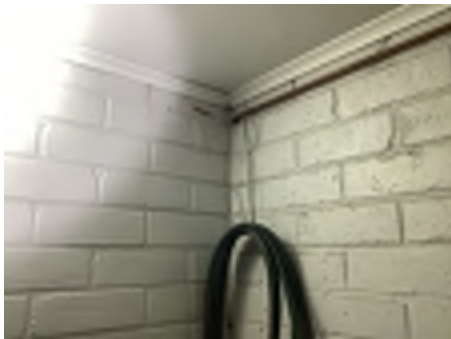
Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



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Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

D4 Floors	No evidence of Major Structural Defect and/or Safety Defect was found.
D5 Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)	No evidence of Major Structural Defect and/or Safety Defect was found.
D6 Built-in fittings (built in kitchen and other fittings, not including the appliances)	The following evidence of Major Structural Defects and/or Safety Defects was found

Built In Fitting Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury.

D7 Bathroom fittings	No evidence of Major Structural Defect and/or Safety Defect was found.
D8 Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	The following evidence of Major Structural Defects and/or Safety Defects was found

Inside Detail Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Cords to the window furnishings are not secured with a closed loop in the cords - recommend securing or repairing to reduce the risk of personal injury.

D9 Roof space	The following evidence of Major Structural Defects and/or Safety Defects was found
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Roof space Defects



Some underpurlins and roof timber where the extension overrides the original roof are not supported at the end. Recommend engaging a builder to repair to reduce the risk of movement and damage.



Some underpurlins and roof timber where the extension overrides the original roof are not supported at the end. Recommend engaging a builder to repair to reduce the risk of movement and damage.



Angled bracing to beams to prevent rotation or movement is not observed to all areas. Recommend engaging a builder to repair to reduce the risk of movement and damage.



Angled bracing to beams to prevent rotation or movement is not observed to all areas. Recommend engaging a builder to repair to reduce the risk of movement and damage.



Timber struts bearing onto metal truss beams have no visual fasteners to the beams in some locations. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Timber struts bearing onto metal truss beams have no visual fasteners to the beams in some locations. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Timber struts bearing onto metal truss beams have no visual fasteners to the beams in some locations. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Timber struts bearing onto metal truss beams have no visual fasteners to the beams in some locations. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Ceiling timbers cut and not adequately reinforced around the AC position - recommend engaging a builder/ carpenter to repair to reduce the risk of damage.



Some of the extension roofing members are propped onto the original roof structure with no additional support observed under the support load point. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Some of the extension roofing members are propped onto the original roof structure with no additional support observed under the support load point. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Some of the extension roofing members are propped onto the original roof structure with no additional support observed under the support load point. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Some of the extension roofing members are propped onto the original roof structure with no additional support observed under the support load point. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of movement and damage.



Spans to underpurlins are greater than typically allowed in several areas throughout the roof. Recommend engaging a builder to investigate and repair to reduce the risk of movement and damage.



Spans to underpurlins are greater than typically allowed in several areas throughout the roof. Recommend engaging a builder to investigate and repair to reduce the risk of movement and damage.



Spans to underpurlins are greater than typically allowed in several areas throughout the roof. Recommend engaging a builder to investigate and repair to reduce the risk of movement and damage.



Spans to underpurlins are greater than typically allowed in several areas throughout the roof. Recommend engaging a builder to investigate and repair to reduce the risk of movement and damage.



The roof cover appears to have been changed in the past to new roofing iron with modern fasteners. No provision to upgrade supporting timbers and tie downs to the roof to the requirements of the approximate date of the changed roof cover are observed. Recommend engaging an engineer to assess and a builder to install additional timbers, tie downs and strapping or obtaining a signed engineering detail for the roof change as constructed.



The roof cover appears to have been changed in the past to new roofing iron with modern fasteners. No provision to upgrade supporting timbers and tie downs to the roof to the requirements of the approximate date of the changed roof cover are observed. Recommend engaging an engineer to assess and a builder to install additional timbers, tie downs and strapping or obtaining a signed engineering detail for the roof change as constructed.



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D10 Subfloor space	The following evidence of Major Structural Defects and/or Safety Defects was found
--------------------	--

Subfloor Defects



Termite damage observed to the subfloor Timbers around the one visible subfloor hatch. Recommend conducting further, more invasive investigation and engaging a builder to repair to reduce the risk of damage to the structure to reduce the risk of further deterioration.

Termite damage observed to the subfloor Timbers around the one visible subfloor hatch. Recommend conducting further, more invasive investigation and engaging a builder to repair to reduce the risk of damage to the structure to reduce the risk of further deterioration.

Termite damage observed to the subfloor Timbers around the one visible subfloor hatch. Recommend conducting further, more invasive investigation and engaging a builder to repair to reduce the risk of damage to the structure to reduce the risk of further deterioration.

OUTSIDE CONDITION - MAJOR DEFECTS

D11 External walls	The following evidence of Major Structural Defects and/or Safety Defects was found
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External Wall Defects



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



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Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

D12 Windows	No evidence of Major Structural Defect and/or Safety Defect was found.
D13 External doors (including patio doors)	The following evidence of Major Structural Defects and/or Safety Defects was found

External Door Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Large glass panels and door inserts that could be mistaken for openings did not all have an identifiable mark i.e. sticker as required by building requirements. Recommend engaging a glazier to repair to reduce the risk of personal injury.

Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Large glass panels and door inserts that could be mistaken for openings did not all have an identifiable mark i.e. sticker as required by building requirements. Recommend engaging a glazier to repair to reduce the risk of personal injury.

D14 Platforms (including verandahs, patios, decks and the like)	The following evidence of Major Structural Defects and/or Safety Defects was found
---	--

Platform Defects



Wood rot to parts of the framing to the patio. Needs repair/replacing to prevent further deterioration. Ensure all exposed timbers are painted to maximise the life of the timbers. To the front verandah.

Wood rot to parts of the framing to the patio. Needs repair/replacing to prevent further deterioration. Ensure all exposed timbers are painted to maximise the life of the timbers. To the front verandah.

Wood rot to parts of the framing to the patio. Needs repair/replacing to prevent further deterioration. Ensure all exposed timbers are painted to maximise the life of the timbers. To the front verandah.



Wood rot to parts of the framing to the patio. Needs repair/replacing to prevent further deterioration. Ensure all exposed timbers are painted to maximise the life of the timbers. To the front verandah.

Wood rot to parts of the framing to the patio. Needs repair/replacing to prevent further deterioration. Ensure all exposed timbers are painted to maximise the life of the timbers. To the front verandah.

D15 Other external primary elements	No evidence of Major Structural Defect and/or Safety Defect was found.
-------------------------------------	--

D16 Other external secondary & finishing elements	The following evidence of Major Structural Defects and/or Safety Defects was found
---	--

Finishing Element Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Exposed wires to some external locations. Recommend engaging an electrician to investigate and repair to reduce the risk of damage and injury.

D17 Roof exterior (including roof covering, penetrations, flashings)	No evidence of Major Structural Defect and/or Safety Defect was found.
D18 Rainwater goods	No evidence of Major Structural Defect and/or Safety Defect was found.
D19 The grounds	No evidence of Major Structural Defect and/or Safety Defect was found.
D20 Walls & fences	No evidence of Major Structural Defect and/or Safety Defect was found.
D21 Outbuildings	Not inspected due to construction design

MINOR DEFECTS

D22 Minor defects: Monitoring and normal maintenance must be carried out (see also Section F 'Important note'). How many minor defects were noted?	Not Applicable as Outside the Scope of the Inspection
Comments on Minor Defects	

SECTION E CONCLUSION

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

PROPERTY REPORT

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Above Average
The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Not Applicable as outside the scope of the inspection

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
---	---------

SECTION F IMPORTANT NOTES

PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration.

Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.

SECTION G ADDITIONAL COMMENTS

Additional comments	The following additional comments are noted
Additional comments	<p>Material likely containing asbestos was observed to eaves and in the roof space. Recommend engaging an asbestos technician to investigate and advise on locations following laboratory testing.</p> <p>The following maintenance items were observed during the course of the inspection:</p> <ul style="list-style-type: none"> Ducting to both ducted AC was detached. Brick spalling to various areas externally. Water leaks and staining various areas to internal walls and ceilings. Peeling paint to external surfaces. Cracking to ceilings. General damage and wear and tear to various areas. Rusting and debris to external stormwater, roofing and gutter systems.
Additional Inspections Recommended	Electrical, Plumbing, Appliances Inspection, Surveying, Geo Technical, Air Conditioning, Structural Engineering, Council Compliance, Asbestos (if your house was built after 2003, it is unlikely that it would have any asbestos containing materials), Fire Alarm/smoke Alarm technician, Timber Pest Inspection, Fire Engineer, Property Condition Inspection

SECTION H ANNEXURES TO THIS REPORT

Annexures to this report	The following are attached
Annexures	Additional photos taken during the course of the inspection of additional obstructions and non structural defects.

Annexure Photos



Showing additional photos



Showing additional photos



Showing additional photos



Showing additional photos



Showing additional photos



Showing additional photos



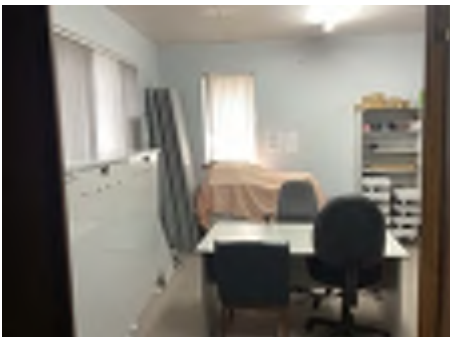
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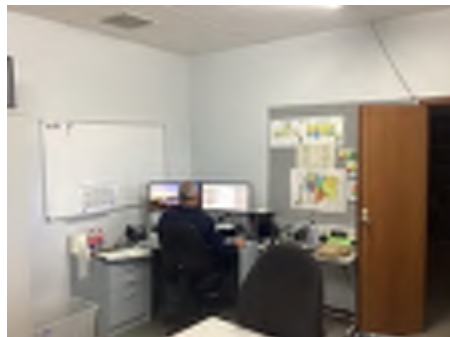
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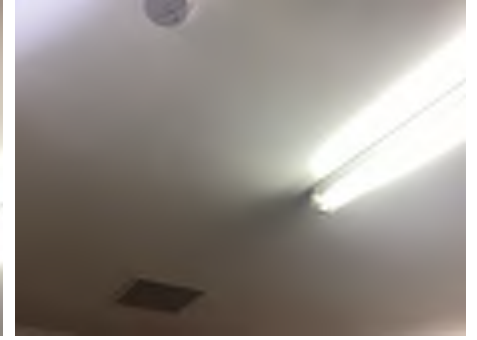
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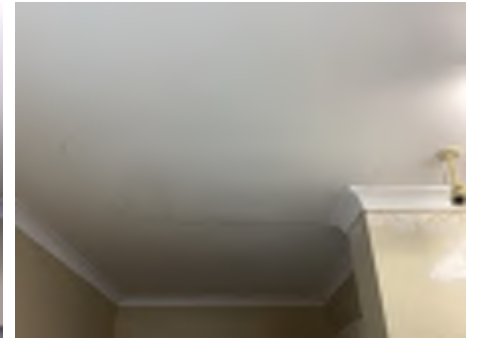
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SECTION I CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Inspector Name:	Carl Olsen
Inspector Phone	0438 905 794
Inspector Email	carl.olsen@rapidbuildinginspections.com.au

Authorised Signatory:	
Date of Issue:	11th May, 2022



Dardanup Community Centre, Lot 45 Little Street, Dardanup, Western Australia

Pre-Purchase Structural Property Report



16th May, 2022

PRE-PURCHASE STRUCTURAL PROPERTY REPORT

Report number:	6066298
Inspection Date:	11th May, 2022
Property Address	Dardanup Community Centre, Lot 45 Little Street, Dardanup, Western Australia

Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant is a Structural Building Condition Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

This Structural Building Condition report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

Terms on which this report was prepared

Property report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

If the Client requires a structural integrity report that is not subject to the limitations of Structural Building Conditions Inspections, the Client should engage a Structural Engineer

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

[Appendix ORD: 12.4.1E]

Structural Inspection Report -Shire Admin Building

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. A visual only inspection may be of limited use to the Client, particularly where the cause/source of a defect cannot be determined by visible inspection only. In addition to a visual inspection and in order to thoroughly inspect the Readily Accessible Areas of the property the consultant may carry out necessary non invasive tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. The Report is not a structural integrity report. **Where a structural building condition inspection is conducted then the Inspection and Report forms an assessment of the observable structural condition of the property at the time of the inspection only, and is not, and should not, be considered an assessment of structural integrity.**
6. Structural condition reports will be undertaken in accordance with Appendix A Pre-Purchase Structural Inspection Reports, where the inspection is also limited to the assessment of structural elements to the interior and exterior of the building of the particular residence to be inspected. Further, with respect to structural condition inspections and reports, non-structural elements; any aspect or component of the property that cannot be seen or that requires testing and/or measurement to determine soundness; any area or item that was not, or could not be, observed by the inspector; general maintenance other than that which is deemed to be directly related to the ongoing structural performance of the property; and serviceability damp defects such as condensation, rising damp, lateral damp and falling damp, will only be assessed and reported on where structural damage has occurred, is occurring, or may occur.
7. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
8. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Special conditions or instructions

Special conditions or instructions	There are no special conditions or instructions.
------------------------------------	--

The parties

Pre-engagement inspection agreement number:	6066298
Name of Client:	Shire of Dardanup c/o Belinda Vanvuuren
Name of Principal:	
Address of Client:	
Client's email:	belinda.vanvuuren@dardanup.wa.gov.au
Client's telephone number:	0427 783 141

SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

PROPERTY REPORT - SUMMARY

In respect of significant items:

Evidence of Serious Safety Hazards	Was observed - see Section D, Item D1
Evidence of Major Defects	Was observed - see Section D, Item D2 - D21
Evidence of Minor Defects	Outside the scope of the inspection
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	Moderate-High. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".	Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration. Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.
---	---

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

GENERAL DESCRIPTION OF THE PROPERTY

Residential building type:	Child care centre
Number of storeys:	Single storey.
Approximate building age:	50 years
Approximate year when the property was extended:	Not applicable
Smoke detectors:	Undetermined
Siting of the building:	Towards the middle of a large block.
Gradient:	The land is gently sloping.
Site drainage:	The site appears to be poorly drained.
Access:	Reasonable pedestrian and vehicular access
Main utility services:	The following services were connected: Electricity, Water, Sewer
Occupancy status:	Occupied and fully furnished, Unoccupied but partly furnished, The rear portion on the property was in use with the front portion partially furnished and not currently occupied
Orientation (to establish the way the property was viewed):	The facade of the building faces west Note: For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry

PRIMARY METHOD OF CONSTRUCTION

Main building - floor construction:	Slab on ground
Main building - wall construction:	Cavity brick, Metal sheet cladding
Main building - roof construction:	Metal sheeting, Metal frame
Other timber building elements:	Windows, Doors, Reveals, Architraves, Mouldings, Cabinets
Additional Details:	
Overall standard of construction:	Reasonable

Overall quality of workmanship and materials:	Reasonable
Level of maintenance:	Reasonably maintained

INCOMPLETE CONSTRUCTION

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?	Yes, the following evidence was found
Incomplete construction evidence:	The wall lining to one of the store rooms was incomplete

Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

Incomplete Construction Photo

Showing examples of incomplete wall ovens

ACCOMMODATION & SIGNIFICANT ANCILLARIES

Room Type: Entry	Quantity: 2
Room Type: Storage areas	Quantity: 4
Room Type: Kitchen	Quantity: 2
Room Type: Play areas	Quantity: 2
Room Type: Office	Quantity: 3
Room Type: Separate toilet	Quantity: 5

PARKING

Type: Off street Uncovered	Quantity: Parking area to the north of the main structure with undefined number of bays
----------------------------	---

SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

[Appendix ORD: 12.4.1E]

Structural Inspection Report -Shire Admin Building

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, and are accessible by safe use of a ladder up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry.

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

AREAS INSPECTED

The inspection covered the Readily Accessible Areas of the property	Building Interior, Building Exterior, The site including fences
Additional comments:	No inspection of the roof exterior due to height restrictions. Roof space not inspected due to no manhole - recommend installing a manhole.

STRATA OR COMPANY TITLE PROPERTIES

Was the inspection of a strata or company title property (eg a home unit or townhouse)?	No
Was the inspection limited to assessing the interior or exterior of a particular unit?	Not applicable
Additional comments:	

OBSTRUCTIONS

Were there any obstructions that may conceal possible defects?	The following obstructions may conceal defects:
--	---

Obstruction Photos



Showing example of stored items



Showing example of stored items



Showing example of stored items



Showing example of stored items



Showing example of stored items



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



Showing example of landscaping and gardens



Showing example of landscaping and gardens



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of external fixtures



Showing example of external fixtures



Showing example of external fixtures



Showing example of external fixtures



Showing example of external fixtures



Showing example of window furnishings

INACCESSIBLE AREAS

<p>Were there any normally accessible areas that did not permit entry?</p>	<p>There was no inspection of:</p>
<p>Inaccessible Areas:</p>	<p>No inspection of the roof space where no manhole was provided No inspection of roof exterior where access is restricted due to height restrictions No inspection of locked storage areas</p>

Inaccessible Area Photos



Showing no manhole



Showing no manhole



Showing no access to roof exterior due to height restrictions



Showing no access to roof exterior due to height restrictions



Showing examples of locked storage doors



Showing examples of locked storage doors

UNDETECTED DEFECT RISK ASSESSMENT

<p>Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:</p>	<p>High</p>
--	-------------

A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

<p>Additional comments:</p>	<p>Recommend further inspection once vacant and obstructions removed. Recommend further inspection to the upper roof exterior when safe access is gained. Recommend further inspection when access is gained to all areas.</p>
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SECTION D PROPERTY REPORT

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

SERIOUS SAFETY HAZARDS

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

<p>D1 Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:</p>	<p>The following evidence was found</p>
<p>Additional Comments:</p>	<p>Undulating/uneven path, rectify to reduce the risk of tripping and personal injury. Some loose ceiling panels are observed. Recommend engaging a builder to repair to reduce the risk of damage and injury. Large glass panels and door inserts that could be mistaken for openings did not all have an identifiable mark i.e. sticker as required by building requirements. Recommend engaging a glazier to repair to reduce the risk of personal injury. The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury. Earth wire to the dwelling is damaged with loose wire connection - recommend engaging an electrician to repair to reduce the risk of electrocution and personal injury. Some ceiling panels are visibly loose. Recommend engaging a builder to repair to reduce the risk of damage or injury.</p>

Safety Hazard Details



Showing undulating/uneven path



Showing undulating/uneven path



Showing examples of glass doors



Showing examples of glass doors



Showing ovens



Showing ovens



Showing examples of loose ceiling panels



Showing examples of loose ceiling panels



Showing examples of loose ceiling panels



Showing hot water system



Showing hot water system



Showing earth wire



Showing earth wire

INSIDE CONDITION - MAJOR DEFECTS

<p>D2 Ceilings</p>	<p>The following evidence of Major Structural Defects and/or Safety Defects was found</p>
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Ceiling Defects



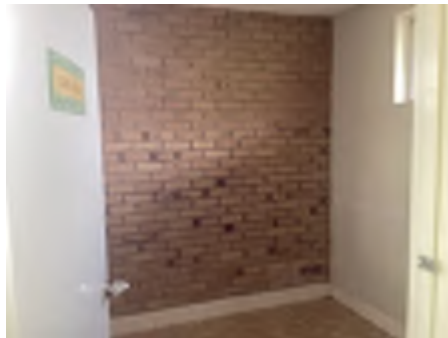
Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Some loose ceiling panels are observed. Recommend engaging a builder to repair to reduce the risk of damage and injury.

Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Some loose ceiling panels are observed. Recommend engaging a builder to repair to reduce the risk of damage and injury.

Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Some loose ceiling panels are observed. Recommend engaging a builder to repair to reduce the risk of damage and injury.

D3 Internal Walls	The following evidence of Major Structural Defects and/or Safety Defects was found
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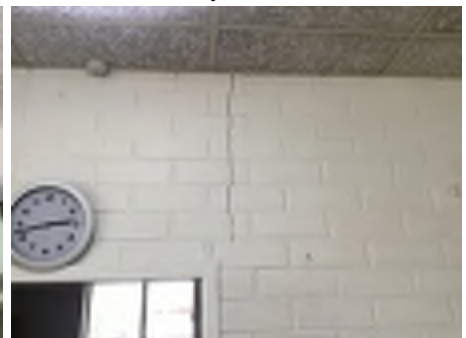
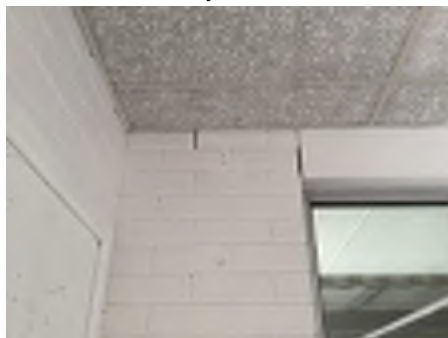
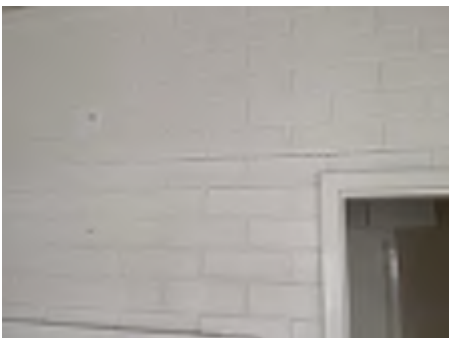
Internal Wall Defects



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building, To the front community area.

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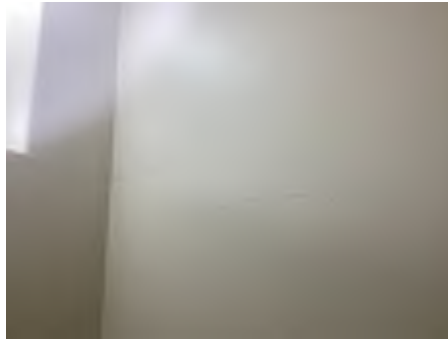
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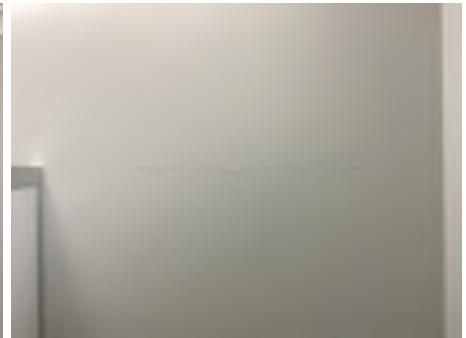
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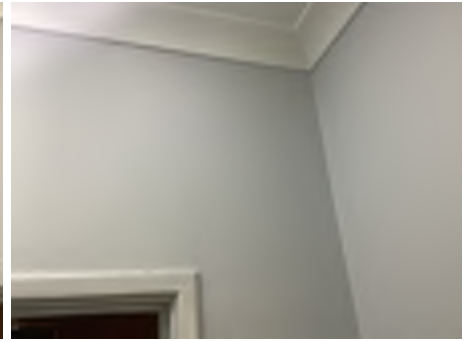
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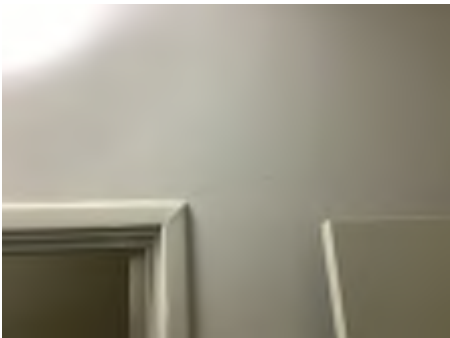
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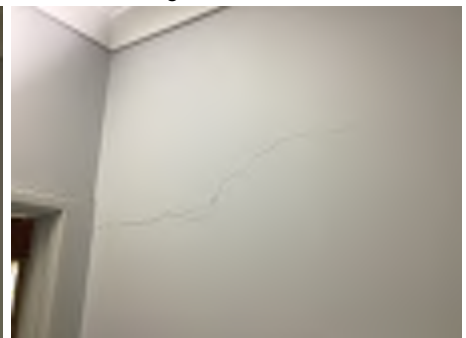
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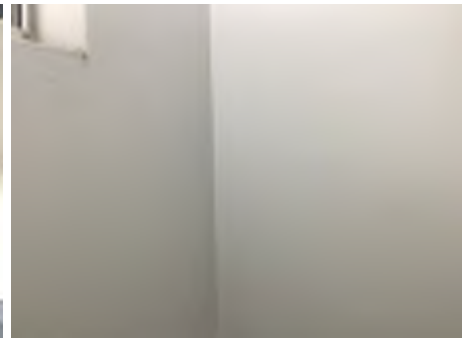
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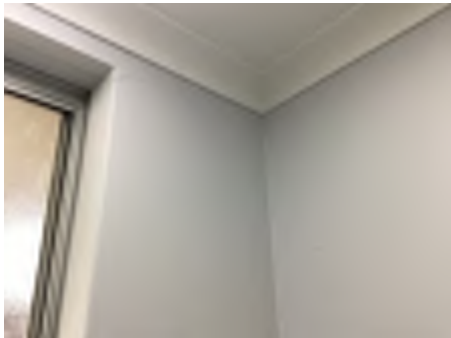
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D4 Floors	No evidence of Major Structural Defect and/or Safety Defect was found.
D5 Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)	The following evidence of Major Structural Defects and/or Safety Defects was found

Internal Joinery Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Large glass panels and door inserts that could be mistaken for openings did not all have an identifiable mark i.e. sticker as required by building requirements. Recommend engaging a glazier to repair to reduce the risk of personal injury.

D6 Built-in fittings (built in kitchen and other fittings, not including the appliances)	The following evidence of Major Structural Defects and/or Safety Defects was found
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Built In Fitting Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury.

D7 Bathroom fittings	No evidence of Major Structural Defect and/or Safety Defect was found.
D8 Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	No evidence of Major Structural Defect and/or Safety Defect was found.
D9 Roof space	Not inspected due to construction design
D10 Subfloor space	Not inspected due to construction design

OUTSIDE CONDITION - MAJOR DEFECTS

D11 External walls	The following evidence of Major Structural Defects and/or Safety Defects was found
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External Wall Defects



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

D12 Windows	No evidence of Major Structural Defect and/or Safety Defect was found.
D13 External doors (including patio doors)	The following evidence of Major Structural Defects and/or Safety Defects was found

External Door Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Large glass panels and door inserts that could be mistaken for openings did not all have an identifiable mark i.e. sticker as required by building requirements. Recommend engaging a glazier to repair to reduce the risk of personal injury.

D14 Platforms (including verandahs, patios, decks and the like)	The following evidence of Major Structural Defects and/or Safety Defects was found
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Platform Defects



Rusting to steel patio/carport posts, channels and/or purlins - recommend engaging a builder to repair to reduce the risk of deterioration.

Rusting to steel patio/carport posts, channels and/or purlins - recommend engaging a builder to repair to reduce the risk of deterioration.

Rusting to steel patio/carport posts, channels and/or purlins - recommend engaging a builder to repair to reduce the risk of deterioration.

D15 Other external primary elements	No evidence of Major Structural Defect and/or Safety Defect was found.
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D16 Other external secondary & finishing elements	The following evidence of Major Structural Defects and/or Safety Defects was found
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Finishing Element Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Earth wire to the dwelling is damaged with loose wire connection - recommend engaging an electrician to repair to reduce the risk of electrocution and personal injury.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Earth wire to the dwelling is damaged with loose wire connection - recommend engaging an electrician to repair to reduce the risk of electrocution and personal injury.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. The rear wall mounted hot water system is not visibly secured with a bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. The rear wall mounted hot water system is not visibly secured with a bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury.

D17 Roof exterior (including roof covering, penetrations, flashings)	Not inspected due to height restrictions
D18 Rainwater goods	No evidence of Major Structural Defect and/or Safety Defect was found.
D19 The grounds	The following evidence of Major Structural Defects and/or Safety Defects was found

Grounds Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Unevenness and settling to parts of the pavers. Needs repair/replacing to prevent further deterioration.

Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Unevenness and settling to parts of the pavers. Needs repair/replacing to prevent further deterioration.

Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Unevenness and settling to parts of the pavers. Needs repair/replacing to prevent further deterioration.

D20 Walls & fences	Not inspected as outside the Scope of Inspection
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D21 Outbuildings	No evidence of Major Structural Defect and/or Safety Defect was found.
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MINOR DEFECTS

D22 Minor defects: Monitoring and normal maintenance must be carried out (see also Section F 'Important note'). How many minor defects were noted?	Not Applicable as Outside the Scope of the Inspection
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Comments on Minor Defects	
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SECTION E CONCLUSION

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

PROPERTY REPORT

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Not Applicable as outside the scope of the inspection
In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average

SECTION F IMPORTANT NOTES

PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration.

Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.

SECTION G ADDITIONAL COMMENTS

Additional comments	The following additional comments are noted
Additional comments	<p>Due to the age of the property the likelihood of asbestos containing materials is high. Recommend engaging an asbestos technician to investigate and advise as required.</p> <p>Water leaks to plumbing and damage to plumbing fixtures is observed throughout.</p> <p>Gutters and downpipes are heavily rusted and leaking to the main building and outbuildings in many locations.</p> <p>Moisture damage and staining is observed to many locations.</p>
Additional Inspections Recommended	<p>Electrical, Plumbing, Appliances Inspection, Surveying, Geo Technical, Air Conditioning, Structural Engineering, Council Compliance, Asbestos (if your house was built after 2003, it is unlikely that it would have any asbestos containing materials), Fire Alarm/smoke Alarm technician, Timber Pest Inspection, Fire Engineer, Property Condition Inspection</p>

SECTION H ANNEXURES TO THIS REPORT

Annexures to this report	The following are attached
Annexures	Additional photos showing examples of maintenance items and photos not otherwise included in the report main body are attached.

Annexure Photos



Showing examples of additional photos



Showing examples of additional photos



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SECTION I CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Inspector Name:	Carl Olsen
Inspector Phone	0438 905 794
Inspector Email	carl.olsen@rapidbuildinginspections.com.au
Authorised Signatory:	
Date of Issue:	11th May, 2022



Dardanup Hall, 3 Little Street, Dardanup, Western Australia

Pre-Purchase Structural Property Report



16th May, 2022

PRE-PURCHASE STRUCTURAL PROPERTY REPORT

Report number:	6066260
Inspection Date:	11th May, 2022
Property Address	Dardanup Hall, 3 Little Street, Dardanup, Western Australia

Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant is a Structural Building Condition Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

This Structural Building Condition report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

Terms on which this report was prepared

Property report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

If the Client requires a structural integrity report that is not subject to the limitations of Structural Building Conditions Inspections, the Client should engage a Structural Engineer

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. A visual only inspection may be of limited use to the Client, particularly where the cause/source of a defect cannot be determined by visible inspection only. In addition to a visual inspection and in order to thoroughly inspect the Readily Accessible Areas of the property the consultant may carry out necessary non invasive tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. The Report is not a structural integrity report. **Where a structural building condition inspection is conducted then the Inspection and Report forms an assessment of the observable structural condition of the property at the time of the inspection only, and is not, and should not, be considered an assessment of structural integrity.**
6. Structural condition reports will be undertaken in accordance with Appendix A Pre-Purchase Structural Inspection Reports, where the inspection is also limited to the assessment of structural elements to the interior and exterior of the building of the particular residence to be inspected. Further, with respect to structural condition inspections and reports, non-structural elements; any aspect or component of the property that cannot be seen or that requires testing and/or measurement to determine soundness; any area or item that was not, or could not be, observed by the inspector; general maintenance other than that which is deemed to be directly related to the ongoing structural performance of the property; and serviceability damp defects such as condensation, rising damp, lateral damp and falling damp, will only be assessed and reported on where structural damage has occurred, is occurring, or may occur.
7. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
8. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Special conditions or instructions

Special conditions or instructions	There are no special conditions or instructions.
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The parties

Pre-engagement inspection agreement number:	6066260
Name of Client:	Shire of Dardanup c/o Belinda Vanvuuren
Name of Principal:	
Address of Client:	
Client's email:	belinda.vanvuuren@dardanup.wa.gov.au
Client's telephone number:	0427 783 141

SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

PROPERTY REPORT - SUMMARY

In respect of significant items:

Evidence of Serious Safety Hazards	Was observed - see Section D, Item D1
Evidence of Major Defects	Was observed - see Section D, Item D2 - D21
Evidence of Minor Defects	Outside the scope of the inspection
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	High. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".	Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration. Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.
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A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

GENERAL DESCRIPTION OF THE PROPERTY

Residential building type:	Community hall / theatre with dance hall to the side extension
Number of storeys:	Split-level.
Approximate building age:	100 years
Approximate year when the property was extended:	50 years
Smoke detectors:	Smoke protection system extent not determined
Siting of the building:	Towards the middle of a large block.
Gradient:	The land is gently sloping.
Site drainage:	The site appears to be poorly drained.
Access:	Reasonable pedestrian and vehicular access, Off-street parking
Main utility services:	The following services were connected. Electricity, Gas, Water, Sewer
Occupancy status:	Occupied and partly furnished
Orientation (to establish the way the property was viewed):	The facade of the building faces north Note. For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry
Other Information	The hall was in the process of being set up for an event with some obstructions from marquee and equipment.

PRIMARY METHOD OF CONSTRUCTION

Main building - floor construction:	Part suspended timber framed and slab on ground
Main building - wall construction:	Cavity brick, Single skin masonry, Timber cladding, Timber frame
Main building - roof construction:	Coloured metal sheeting, Metal frame
Other timber building elements:	Windows, Doors, Reveals, Architraves, Mouldings, Fascias/Barges, Flooring, Cabinets
Additional Details:	

Overall standard of construction:	Reasonable
Overall quality of workmanship and materials:	Reasonable
Level of maintenance:	Reasonably maintained

INCOMPLETE CONSTRUCTION

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?	No evidence found
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Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

ACCOMMODATION & SIGNIFICANT ANCILLARIES

Room Type: Main hall	Quantity: 1
Room Type: Secondary hall	Quantity: 1
Room Type: Stage with storage	Quantity: 1
Room Type: Bathrooms / toilet enclosures	Quantity: 3
Room Type: Kitchen	Quantity: 1
Room Type: Storage spaces	Quantity:

PARKING

Type: Off street Uncovered	Quantity: Undefined (25+)
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SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, and are accessible by safe use of a ladder up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry.

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

[Appendix ORD: 12.4.1E]

Structural Inspection Report -Shire Admin Building

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

AREAS INSPECTED

The inspection covered the Readily Accessible Areas of the property	Building Interior, Building Exterior, Roof Exterior, Roof Space, The site including fences
Additional comments:	No inspection of the subfloor due to sealed access points, Parts of the roof cover were viewed from the ground or lower roofs due to height restrictions

STRATA OR COMPANY TITLE PROPERTIES

Was the inspection of a strata or company title property (eg a home unit or townhouse)?	No
Was the inspection limited to assessing the interior or exterior of a particular unit?	Not applicable

OBSTRUCTIONS

Were there any obstructions that may conceal possible defects?	The following obstructions may conceal defects:
--	---

Obstruction Photos



Showing example of stored items



Showing example of stored items



Showing example of stored items



Showing example of wall, floor and ceiling coverings



Showing example of wall, floor and ceiling coverings



Showing example of furniture and stored goods throughout the property



Showing example of furniture and stored goods throughout the property



Showing example of external fixtures



Showing example of external fixtures

INACCESSIBLE AREAS

<p>Were there any normally accessible areas that did not permit entry?</p>	<p>There was no inspection of:</p>
<p>Inaccessible Areas:</p>	<p>No inspection of roof exterior where access is restricted due to height restrictions. No inspection of the subfloor due to sealed access hatches.</p>

Inaccessible Area Photos



Showing no access to roof exterior due to height restrictions



Showing no access to roof exterior due to height restrictions



Showing no access to roof exterior due to height restrictions



Showing no access to roof exterior due to height restrictions



Showing no access to roof exterior due to height restrictions



Showing examples of subfloor hatches



Showing examples of subfloor hatches



Showing examples of subfloor hatches

UNDETECTED DEFECT RISK ASSESSMENT

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:	High
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A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

Additional comments:	Recommend further inspection once vacant and obstructions removed, Recommend further inspection to the upper roof exterior when safe access is gained, Recommend further inspection when access is gained to all areas, Recommend further invasive investigation around areas with timber rot to determine if there is concealed damage
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SECTION D PROPERTY REPORT

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

SERIOUS SAFETY HAZARDS

As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

D1 Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:	The following evidence was found
Additional Comments:	Gas bottles are not secured to the wall/positioned on a solid stable surface. Recommend securing the bottles to reduce the risk of damage and personal injury. Loose ceiling panels observed to several areas. Recommend engaging a builder to repair to reduce the risk of panels dislodging and causing damage or injury. Possible Mould like material observed food preparation area ceilings and to other ceilings through the structure in wet areas and main hall area. Recommend engaging a mould technician to investigate if the material is hazardous and a builder to repair as required to reduce the risk of illness or further deterioration. Exposed material that is visibly consistent with asbestos is located in the storage room over the entrance and to the gable end cladding over the stage. Recommend engaging a an asbestos technician to investigate and a builder to conduct repairs as required to reduce the risk of serious illness. The mirror to the dance hall shown is cracked. Recommend engaging a glazier to repair to reduce the risk of injury. Uneven / unlevel floors to the rear of the main hall stage. Recommend engaging an engineer to investigate and a builder to make repairs to reduce the risk of falls and injury. Damaged and uneven stairs to several areas around the building. Recommend engaging a builder to repair to reduce the risk of trips and injury. Exposed sewerage outlet pipe to the ladies toilets where the plumbing cap is missing. Recommend engaging a plumber to repair to reduce the risk of exposure to sewerage and illness or injury. Exposed wires to some areas. Recommend engaging an electrician to investigate and repair to reduce the risk of damage and injury.

Safety Hazard Details



Showing gas bottle chain connection



Showing gas bottle chain connection



Showing examples of ceiling panels



Showing examples of ceiling panels



Showing examples of ceiling panels



Showing examples of suspected mould



Showing examples of suspected mould



Showing examples of suspected mould



Showing examples of suspected asbestos



Showing examples of suspected asbestos



Showing examples of suspected asbestos



Showing examples of suspected asbestos



Showing examples of suspected asbestos



Showing cracked mirror



Showing example of uneven flooring



Showing example of uneven flooring



Showing examples of stairs



Showing examples of stairs



Showing examples of stairs



Showing plumbing pipe



Showing examples of exposed wires

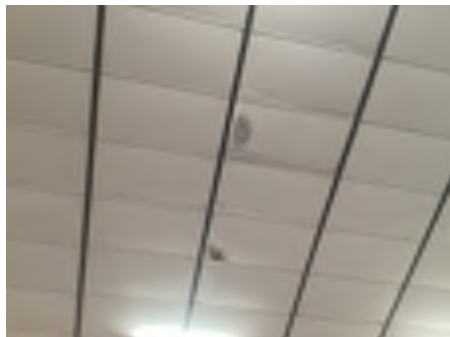
INSIDE CONDITION - MAJOR DEFECTS

Ceilings	The following evidence of Major Structural Defects and/or Safety Defects was found
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Ceiling Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Loose ceiling panels observed to several areas. Recommend engaging a builder to repair to reduce the risk of panels dislodging and causing damage or injury.



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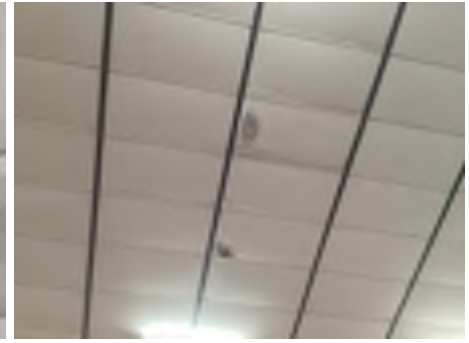
Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Loose ceiling panels observed to several areas. Recommend engaging a builder to repair to reduce the risk of panels dislodging and causing damage or injury.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Mould like material observed to food preparation area. Recommend engaging a mould technician to investigate if the material is hazardous and a builder to repair as required to reduce the risk of illness or further deterioration.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Possible Mould like material observed to other ceilings through the structure in wet areas and main hall area. Recommend engaging a mould technician to investigate if the material is hazardous and a builder to repair as required to reduce the risk of illness or further deterioration.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Possible Mould like material observed to other ceilings through the structure in wet areas and main hall area. Recommend engaging a mould technician to investigate if the material is hazardous and a builder to repair as required to reduce the risk of illness or further deterioration.

Internal Walls	The following evidence of Major Structural Defects and/or Safety Defects was found
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Internal Wall Defects



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building. To various locations in both halls and the storage area over the entrance.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building. To various locations in both halls and the storage area over the entrance.



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Leaning and distorted walls to the area behind the stage where the cladding section of the building has subsided. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement or failure of the structure.



Leaning and distorted walls to the area behind the stage where the cladding section of the building has subsided. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement or failure of the structure.



Leaning and distorted walls to the area behind the stage where the cladding section of the building has subsided. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement or failure of the structure.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Exposed material that is visibly consistent with asbestos is located in the storage room over the entrance and to the gable end cladding over the stage. Recommend engaging a an asbestos technician to investigate and a builder to conduct repairs as required to reduce the risk of serious illness.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Exposed material that is visibly consistent with asbestos is located in the storage room over the entrance and to the gable end cladding over the stage. Recommend engaging a an asbestos technician to investigate and a builder to conduct repairs as required to reduce the risk of serious illness.



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Floors	The following evidence of Major Structural Defects and/or Safety Defects was found
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Floor Defects



Undulating/uneven floors - recommend engaging a builder to assess appropriate method of rectification to prevent further deterioration, To the rear stage and storage areas.



Undulating/uneven floors - recommend engaging a builder to assess appropriate method of rectification to prevent further deterioration, To the rear stage and storage areas.



Undulating/uneven floors - recommend engaging a builder to assess appropriate method of rectification to prevent further deterioration, To the rear stage and storage areas.



Undulating/uneven floors - recommend engaging a builder to assess appropriate method of rectification to prevent further deterioration, To the rear stage and storage areas.

Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)	The following evidence of Major Structural Defects and/or Safety Defects was found
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Internal Joinery Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. No lift-off hinges fitted to the toilet door. Recommend engaging a carpenter to install lift-off hinges or make the door to open outward to reduce the risk of people becoming trapped in the toilet.



Possible termite damage to the bathroom door jamb Timbers. Recommend engaging a pest technician to investigate to determine if there is concealed damage and if a treatment is required.



Possible termite damage to the bathroom door jamb Timbers. Recommend engaging a pest technician to investigate to determine if there is concealed damage and if a treatment is required.

Built-in fittings (built in kitchen and other fittings, not including the appliances)	No evidence of Major Structural Defect and/or Safety Defect was found.
Bathroom fittings	No evidence of Major Structural Defect and/or Safety Defect was found.
Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	The following evidence of Major Structural Defects and/or Safety Defects was found

Inside Detail Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report.

The mirror to the dance hall shown is cracked. Recommend engaging a glazier to repair to reduce the risk of injury.

Roof space	The following evidence of Major Structural Defects and/or Safety Defects was found
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Roof space Defects



The roof cover appears to have been changed in the past to new roofing iron with modern fasteners. No provision to upgrade supporting timbers and tie downs to the roof to the requirements of the approximate date of the changed roof cover are observed. Recommend engaging an engineer to assess and a builder to install additional timbers, tie downs and strapping or obtaining a signed engineering detail for the roof change as constructed.



The roof cover appears to have been changed in the past to new roofing iron with modern fasteners. No provision to upgrade supporting timbers and tie downs to the roof to the requirements of the approximate date of the changed roof cover are observed. Recommend engaging an engineer to assess and a builder to install additional timbers, tie downs and strapping or obtaining a signed engineering detail for the roof change as constructed.



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The metal roof truss over the stage in the main hall is visibly displaced where the rear of the stage is subsiding and impacting the roof structure. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement, deterioration or failure of the structure.



The metal roof truss over the stage in the main hall is visibly displaced where the rear of the stage is subsiding and impacting the roof structure. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement, deterioration or failure of the structure.



The metal roof truss over the stage in the main hall is visibly displaced where the rear of the stage is subsiding and impacting the roof structure. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement, deterioration or failure of the structure.



The metal roof truss over the stage in the main hall is visibly displaced where the rear of the stage is subsiding and impacting the roof structure. Recommend engaging an engineer to investigate and a builder to repair to reduce the risk of further movement, deterioration or failure of the structure.

Subfloor space	Not inspected due to construction design
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OUTSIDE CONDITION - MAJOR DEFECTS

External walls	The following evidence of Major Structural Defects and/or Safety Defects was found
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External Wall Defects



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



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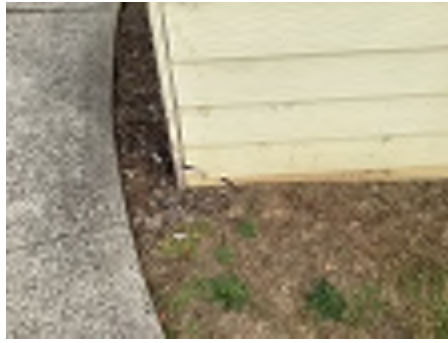
Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



The rear stage clad extension is falling away from the main hall building with cracking to cladding and a large gap opening to the wall at the top to both sides of the extension. Recommend engaging an engineer to investigate and a builder to conduct repairs to reduce the risk of further movement, deterioration or structural failure.



The rear stage clad extension is falling away from the main hall building with cracking to cladding and a large gap opening to the wall at the top to both sides of the extension. Recommend engaging an engineer to investigate and a builder to conduct repairs to reduce the risk of further movement, deterioration or structural failure.



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Windows	No evidence of Major Structural Defect and/or Safety Defect was found.
External doors (including patio doors)	No evidence of Major Structural Defect and/or Safety Defect was found.
Platforms (including verandahs, patios, decks and the like)	The following evidence of Major Structural Defects and/or Safety Defects was found

Platform Defects



Inconsistent riser heights - recommend engaging a builder to rectify to reduce the risk of people tripping over. Damaged stairs to parts. Recommend engaging a builder to repair to reduce the risk of further deterioration and injury.

Inconsistent riser heights - recommend engaging a builder to rectify to reduce the risk of people tripping over. Damaged stairs to parts. Recommend engaging a builder to repair to reduce the risk of further deterioration and injury.

Inconsistent riser heights - recommend engaging a builder to rectify to reduce the risk of people tripping over. Damaged stairs to parts. Recommend engaging a builder to repair to reduce the risk of further deterioration and injury.

Other external primary elements	No evidence of Major Structural Defect and/or Safety Defect was found.
Other external secondary & finishing elements	The following evidence of Major Structural Defects and/or Safety Defects was found

Finishing Element Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Exposed sewerage outlet pipe to the ladies toilets where the plumbing cap is missing. Recommend engaging a plumber to repair to reduce the risk of exposure to sewerage and illness or injury.



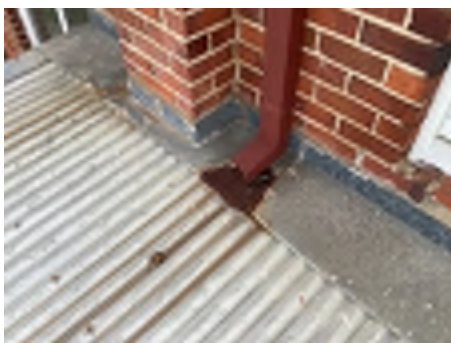
Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Exposed wires to the external wall over the ablation block. Recommend engaging an electrician to investigate and repair to reduce the risk of damage or injury.



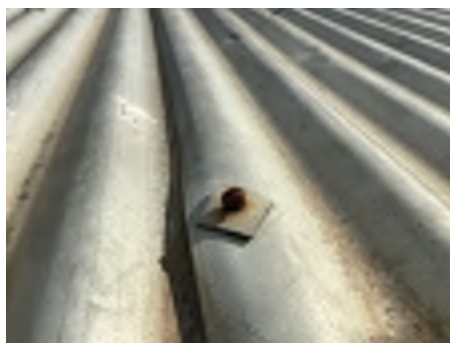
Damaged chain fastener positions to the gas bottles. Recommend engaging a builder to repair to reduce the risk of damage to the bottles and lines and potential injury.

Roof exterior (including roof covering, penetrations, flashings)	The following evidence of Major Structural Defects and/or Safety Defects was found
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Roof Exterior Defects



A few loose fixings. Needs repair/replacing to reduce the risk of water leaks and damage and to prevent the sheeting from blowing off.



A few loose fixings. Needs repair/replacing to reduce the risk of water leaks and damage and to prevent the sheeting from blowing off.



A few loose fixings. Needs repair/replacing to reduce the risk of water leaks and damage and to prevent the sheeting from blowing off.

Rainwater goods	No evidence of Major Structural Defect and/or Safety Defect was found.
The grounds	No evidence of Major Structural Defect and/or Safety Defect was found.
Walls & fences	No evidence of Major Structural Defect and/or Safety Defect was found.
Outbuildings	Not inspected due to construction design

MINOR DEFECTS

D22 Minor defects: Monitoring and normal maintenance must be carried out (see also Section F 'Important note'). How many minor defects were noted?	Not Applicable as Outside the Scope of the Inspection
Comments on Minor Defects	

SECTION E CONCLUSION

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

PROPERTY REPORT

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Above Average
The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Not Applicable as outside the scope of the inspection
In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Below Average

SECTION F IMPORTANT NOTES**PROPERTY REPORT - IMPORTANT NOTE**

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration.

Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.

SECTION G ADDITIONAL COMMENTS

Additional comments	The following additional comments are noted
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<p>Additional comments</p>	<p>Some cladding and enclosing materials are of the type and age that could contain asbestos. Where these are located in a hazardous position they have been identified in the report.</p> <p>Maintenance issues observed include:</p> <ul style="list-style-type: none"> *Blemishes and defects *Timber rot to non structural Timbers *Loose trims and mouldings *Damage to sealants and tiles in wet areas *Plumbing fixtures requiring repair *Water leaks and staining *Cracking to ceilings *Damage to doors and door furniture *Missing glazing to wet area windows *Rusty and damaged gutters, downpipes and flashings *External weathered Timbers require painting <p>Other normal maintenance and wear and tear typical to the age and style of the property</p>
<p>Additional Inspections Recommended</p>	<p>Electrical, Plumbing, Appliances Inspection, Surveying, Geo Technical, Air Conditioning, Structural Engineering, Council Compliance, Asbestos (if your house was built after 2003, it is unlikely that it would have any asbestos containing materials), Fire Alarm/smoke Alarm technician, Timber Pest Inspection, Fire Engineer, Property Condition Inspection</p>

SECTION H ANNEXURES TO THIS REPORT

<p>Annexures to this report</p>	<p>The following are attached</p>
<p>Annexures</p>	<p>Additional photos showing maintenance defects and additional obstruction photos not included elsewhere in the report</p>

Annexure Photos



Showing examples of additional photos



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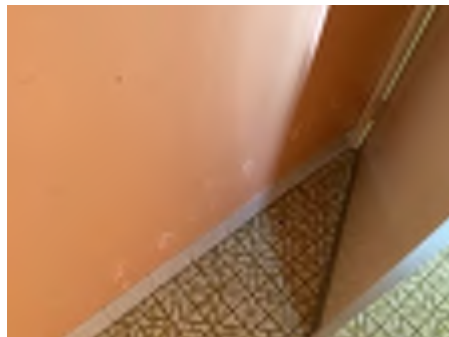
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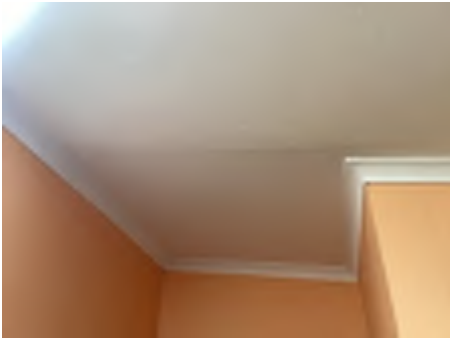
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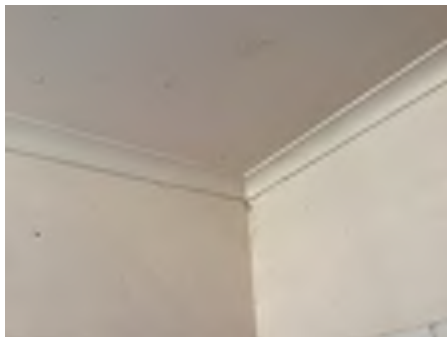
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SECTION I CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Inspector Name:	Carl Olsen
Inspector Phone	0438 905 794
Inspector Email	carl.olsen@rapidbuildinginspections.com.au
Authorised Signatory:	
Date of Issue:	11th May, 2022



Eaton CWA Hall, 27 Hamilton Road, Eaton, Western Australia

Pre-Purchase Structural Property Report



15th May, 2022

PRE-PURCHASE STRUCTURAL PROPERTY REPORT

Report number:	6066311
Inspection Date:	11th May, 2022
Property Address	Eaton CWA Hall, 27 Hamilton Road, Eaton, Western Australia

Service

As requested and agreed with the Client, the inspection carried out by the Building Consultant is a Structural Building Condition Report.

"Client" means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

"Building Consultant" means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections - Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

This Structural Building Condition report was produced for the exclusive use of the Client. The consultant, their company or firm is not liable for any reliance placed on this report by any third party.

Terms on which this report was prepared

Property report

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site (see Note below) and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

If the Client requires a structural integrity report that is not subject to the limitations of Structural Building Conditions Inspections, the Client should engage a Structural Engineer

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Structural Damage" means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- Structural Cracking and Movement - major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- Deformation - an abnormal change of shape of Primary Elements resulting from the application of load(s).
- Dampness - the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- Structural Timber Pest Damage - structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

"Structure" means the loadbearing part of the building, comprising the Primary Elements.

[Appendix ORD: 12.4.1E]

Structural Inspection Report -Shire Admin Building

"Primary Elements" means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

"Conditions Conducive to Structural Damage" means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

"Major Defect" means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

"Serious Safety Hazard" means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. A visual only inspection may be of limited use to the Client, particularly where the cause/source of a defect cannot be determined by visible inspection only. In addition to a visual inspection and in order to thoroughly inspect the Readily Accessible Areas of the property the consultant may carry out necessary non invasive tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. The Report is not a structural integrity report. **Where a structural building condition inspection is conducted then the Inspection and Report forms an assessment of the observable structural condition of the property at the time of the inspection only, and is not, and should not, be considered an assessment of structural integrity.**
6. Structural condition reports will be undertaken in accordance with Appendix A Pre-Purchase Structural Inspection Reports, where the inspection is also limited to the assessment of structural elements to the interior and exterior of the building of the particular residence to be inspected. Further, with respect to structural condition inspections and reports, non-structural elements; any aspect or component of the property that cannot be seen or that requires testing and/or measurement to determine soundness; any area or item that was not, or could not be, observed by the inspector; general maintenance other than that which is deemed to be directly related to the ongoing structural performance of the property; and serviceability damp defects such as condensation, rising damp, lateral damp and falling damp, will only be assessed and reported on where structural damage has occurred, is occurring, or may occur.
7. Australian Standard AS4349.0-2007 Inspection of Buildings, Part 0: General Requirements recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
8. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) detection of wood destroying insects such as termites and wood borers;
- (v) the operation of fireplaces and chimneys;
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) a review of environmental or health or biological risks such as toxic mould;
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; ; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Special conditions or instructions

Special conditions or instructions	There are no special conditions or instructions.
------------------------------------	--

The parties

Pre-engagement inspection agreement number:	6066311
Name of Client:	Shire of Dardanup c/o Belinda Vanvuuren
Name of Principal:	
Address of Client:	
Client's email:	belinda.vanvuuren@dardanup.wa.gov.au
Client's telephone number:	0427 783 141

SECTION A RESULTS OF INSPECTION - SUMMARY

This Summary is not the Report. The following Report MUST be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

PROPERTY REPORT - SUMMARY

In respect of significant items:

Evidence of Serious Safety Hazards	Was observed - see Section D, Item D1
Evidence of Major Defects	Was observed - see Section D, Item D2 - D21
Evidence of Minor Defects	Outside the scope of the inspection
Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects including structural damage and conditions conducive to structural damage was considered:	Moderate-High. See Section C for details

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

For further information including advice on the implementation of a preventative maintenance program see Section G "Important Notes".	Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration. Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.
---	---

A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

GENERAL

The records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

GENERAL DESCRIPTION OF THE PROPERTY

Residential building type:	Detached building
Number of storeys:	Single storey.
Approximate building age:	50 years
Approximate year when the property was extended:	Not applicable
Smoke detectors:	1 fitted, but not tested
Siting of the building:	Towards the middle of a large block.
Gradient:	The land is gently sloping.
Site drainage:	The site appears to be poorly drained.
Access:	Reasonable pedestrian and vehicular access
Main utility services:	The following services were connected: Electricity, Water, Sewer
Occupancy status:	Unoccupied but fully furnished, Vacant - Due to the property being vacant at the time of the inspection an accurate assessment of moisture could not be obtained.
Orientation (to establish the way the property was viewed):	The facade of the building faces north Note: For the purpose of this report the façade of the building contains the main entrance door.
Prevailing weather conditions at the time of inspection:	Dry

PRIMARY METHOD OF CONSTRUCTION

Main building - floor construction:	Slab on ground
Main building - wall construction:	Cavity brick
Main building - roof construction:	Fibre cement, Timber frame
Other timber building elements:	Windows, Doors, Reveals, Skirtings, Mouldings, Fascias/Barges, Cabinets
Additional Details:	
Overall standard of construction:	Reasonable

Overall quality of workmanship and materials:	Reasonable
Level of maintenance:	Reasonably maintained

INCOMPLETE CONSTRUCTION

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?	No evidence found
--	-------------------

Note. This is only a general observation/comment except where any part of the building structure is, or is likely to be, at risk due to this condition.

ACCOMMODATION & SIGNIFICANT ANCILLARIES

Room Type: Community space	Quantity: 1
Room Type: Kitchen	Quantity: 1
Room Type: Separate toilet	Quantity: 2

PARKING

Type: Attached Carport	Quantity: 1
Type: Off street Uncovered	Quantity: Undefined

SECTION C ACCESSIBILITY

Unless noted in "Special Conditions or Instructions", the inspection only covered the Readily Accessible Areas of the Building & Site (see Note below).

Note. With strata and company title properties, the inspection was limited to the interior and the immediate exterior of the particular residence inspected. Common property was not inspected.

"Readily Accessible Areas" means areas which can be easily and safely inspected without injury to person or property, and are accessible by safe use of a ladder up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry.

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the area is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

"Building & Site" means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.

AREAS INSPECTED

The inspection covered the Readily Accessible Areas of the property	Building Interior, Building Exterior, Roof Exterior, Roof Space, The site including fences
---	--

Additional comments:	Roof exterior inspected from the ladder due to material type and height restrictions
----------------------	--

STRATA OR COMPANY TITLE PROPERTIES

Was the inspection of a strata or company title property (eg a home unit or townhouse)?	No
Was the inspection limited to assessing the interior or exterior of a particular unit?	Not applicable
Additional comments:	

OBSTRUCTIONS

Were there any obstructions that may conceal possible defects?	The following obstructions may conceal defects:
--	---

Obstruction Photos



Showing example of stored items



Showing example of wall, floor and ceiling coverings



Showing example of insulation to the ceiling space



Showing example of insulation to the ceiling space



Showing example of furniture and stored goods throughout the property



Showing example of landscaping and gardens



Showing example of landscaping and gardens



Showing example of window furnishings



Showing example of window furnishings



Showing example of the cabinetry



Showing example of the cabinetry



Showing example of framing and low clearance in the roof space



Showing example of framing and low clearance in the roof space



Showing example of external fixtures



Showing example of external fixtures

INACCESSIBLE AREAS

<p>Were there any normally accessible areas that did not permit entry?</p>	<p>There was no inspection of:</p>
<p>Inaccessible Areas:</p>	<p>No inspection of the roof space beyond the ladder due to access restrictions and potential hazardous materials used. No inspection beyond the ladder to the roof cover due to potential hazardous materials used.</p>

Inaccessible Area Photos



Showing examples of the roof space



Showing examples of the roof space



Showing examples of the roof space



Showing examples of roof cover



Showing examples of roof cover

UNDETECTED DEFECT RISK ASSESSMENT

<p>Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected defects such as structural damage, conditions conducive to structural damage, timber pest attack and conditions conducive to timber pest attack was considered:</p>	<p>Moderate-High</p>
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A further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

<p>Additional comments:</p>	<p>Recommend further inspection once vacant and obstructions removed. Recommend further inspection to the upper roof exterior when safe access is gained. Recommend further inspection when access is gained to all areas.</p>
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SECTION D PROPERTY REPORT

The following items and matters were reported on in accordance with the Scope of Inspection. For building elements not identified in this condition report, monitoring and normal maintenance must be carried out (see also Section G 'Important note').

SERIOUS SAFETY HAZARDS

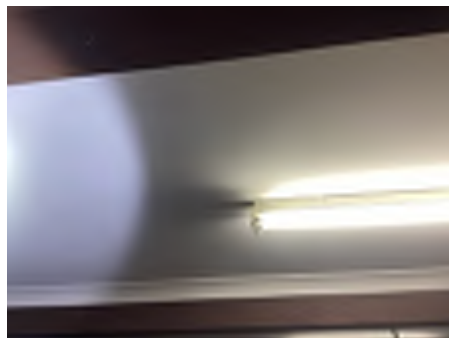
As a matter of course, in the interests of safety, and inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

<p>D1 Serious safety hazards: Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard:</p>	<p>The following evidence was found</p>
<p>Additional Comments:</p>	<p>Sagging ceiling to the main room ceilings. Recommend engaging a plasterer to repair to reduce the risk of further deterioration or possible failure of the ceiling, The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury., Ceiling vents open directly from the ceiling void which contains suspected asbestos materials into the main internal space of the building. It is recommended to engage an asbestos technician to investigate and advise on potential hazards and a builder to conduct repairs to reduce the risk of illness to occupants</p>

Safety Hazard Details



Showing examples of ceilings



Showing examples of ceilings



Showing oven



Showing example of ceiling vents

INSIDE CONDITION - MAJOR DEFECTS

D2 Ceilings	The following evidence of Major Structural Defects and/or Safety Defects was found
-------------	--

Ceiling Defects



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Sagging ceilings - recommend engaging a plasterer to repair/replace to prevent further deterioration.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Sagging ceilings - recommend engaging a plasterer to repair/replace to prevent further deterioration.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Sagging ceilings - recommend engaging a plasterer to repair/replace to prevent further deterioration.



Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. Ceiling vents open directly from the ceiling void which contains suspected asbestos materials into the main internal space of the building. It is recommended to engage an asbestos technician to investigate and advise on potential hazards and a builder to conduct repairs to reduce the risk of illness to occupants.

D3 Internal Walls	The following evidence of Major Structural Defects and/or Safety Defects was found
-------------------	--

Internal Wall Defects

Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the internal walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

D4 Floors	No evidence of Major Structural Defect and/or Safety Defect was found.
D5 Internal Joinery (e.g. doors, staircase, windows and all other woodwork, etc)	No evidence of Major Structural Defect and/or Safety Defect was found.
D6 Built-in fittings (built in kitchen and other fittings, not including the appliances)	The following evidence of Major Structural Defects and/or Safety Defects was found

Built In Fitting Defects

Safety issue only (non structural). It is a requirement of the inspection standard to report observed safety issues within the main body of the report. The freestanding oven is not visibly secured with an anti tilt chain or bracket - recommend engaging an appliance installer to repair to reduce the risk of damage and personal injury.

D7 Bathroom fittings	No evidence of Major Structural Defect and/or Safety Defect was found.
D8 Other inside detail (e.g. fireplaces, chimney breasts and the outside of flues)	No evidence of Major Structural Defect and/or Safety Defect was found.
D9 Roof space	No evidence of Major Structural Defect and/or Safety Defect was found.
D10 Subfloor space	Not inspected due to construction design

OUTSIDE CONDITION - MAJOR DEFECTS

D11 External walls	The following evidence of Major Structural Defects and/or Safety Defects was found
--------------------	--

External Wall Defects



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.



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Cracking observed to parts of the external walls. Recommend a structural engineer be engaged to inspect and provide appropriate advice and recommendations to reduce the risk of further deterioration to the building.

D12 Windows	No evidence of Major Structural Defect and/or Safety Defect was found.
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D13 External doors (including patio doors)	No evidence of Major Structural Defect and/or Safety Defect was found.
--	--

D14 Platforms (including verandahs, patios, decks and the like)	No evidence of Major Structural Defect and/or Safety Defect was found.
D15 Other external primary elements	No evidence of Major Structural Defect and/or Safety Defect was found.
D16 Other external secondary & finishing elements	No evidence of Major Structural Defect and/or Safety Defect was found.
D17 Roof exterior (including roof covering, penetrations, flashings)	The following evidence of Major Structural Defects and/or Safety Defects was found

Roof Exterior Defects



A few loose fixings. Needs repair/replacing to reduce the risk of water leaks and damage and to prevent the sheeting from blowing off. Lifted and damaged roofing material with a high risk of asbestos content due to the age and appearance. Recommend engaging a builder to repair or replace to reduce the risk of further deterioration.



A few loose fixings. Needs repair/replacing to reduce the risk of water leaks and damage and to prevent the sheeting from blowing off. Lifted and damaged roofing material with a high risk of asbestos content due to the age and appearance. Recommend engaging a builder to repair or replace to reduce the risk of further deterioration.



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A few loose fixings. Needs repair/replacing to reduce the risk of water leaks and damage and to prevent the sheeting from blowing off. Lifted and damaged roofing material with a high risk of asbestos content due to the age and appearance. Recommend engaging a builder to repair or replace to reduce the risk of further deterioration.

D18 Rainwater goods	No evidence of Major Structural Defect and/or Safety Defect was found.
D19 The grounds	No evidence of Major Structural Defect and/or Safety Defect was found.
D20 Walls & fences	No evidence of Major Structural Defect and/or Safety Defect was found.
D21 Outbuildings	No evidence of Major Structural Defect and/or Safety Defect was found.

MINOR DEFECTS

D22 Minor defects: Monitoring and normal maintenance must be carried out (see also Section F 'Important note'). How many minor defects were noted?	Not Applicable as Outside the Scope of the Inspection
Comments on Minor Defects	

SECTION E CONCLUSION

Your attention is drawn to the advice contained in the Terms and Conditions of this Report including any special conditions or instructions that need to be considered in relation to this Report.

PROPERTY REPORT

The incidence of Major Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Not Applicable as outside the scope of the inspection

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:	Average
---	---------

SECTION F IMPORTANT NOTES

PROPERTY REPORT - IMPORTANT NOTE

Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice.

Ensure all joins to the wet areas are sealed to reduce the risk of water leaks and penetration.

Ensure all exposed timbers are painted/sealed to prevent the risk of deterioration.

SECTION G ADDITIONAL COMMENTS

Additional comments	The following additional comments are noted
Additional comments	The material observed to areas of the roof cover and fencing are consistent with asbestos containing material. A warning sticker was present on the meterbox that there are asbestos containing material on site. Termite damage to landscaping Timbers and trees was observed to various areas throughout the site. It is recommended that a pest management company be engaged to reduce the risk of termite related issues or damage.
Additional Inspections Recommended	Electrical, Plumbing, Appliances Inspection, Surveying, Geo Technical, Air Conditioning, Structural Engineering, Council Compliance, Asbestos (if your house was built after 2003, it is unlikely that it would have any asbestos containing materials), Fire Alarm/smoke Alarm technician, Timber Pest Inspection, Fire Engineer, Property Condition Inspection

SECTION H ANNEXURES TO THIS REPORT

Annexures to this report	The following are attached
Annexures	Additional photos not used elsewhere in the report are attached.

Annexure Photos



Showing additional photos taken during the course of the inspection.



Showing additional photos taken during the course of the inspection.



Showing additional photos taken during the course of the inspection.



Showing additional photos taken during the course of the inspection.



Showing additional photos taken during the course of the inspection.



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Showing additional photos taken during the course of the inspection.



Showing additional photos taken during the course of the inspection.



Showing additional photos taken during the course of the inspection.

SECTION I CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant & Timber Pest Detection Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in this Report, and in accordance with the current edition of the Report Systems Australia (RSA) Handbooks Standard Property Inspection Reports 'Uniform Inspection Guidelines for Building Consultants' & Timber Pest Detection Reports 'Uniform Inspection Guidelines for Timber Pest Detection Consultants'.

Inspector Name:	Carl Olsen
Inspector Phone	0438 905 794
Inspector Email	carl.olsen@rapidbuildinginspections.com.au
Authorised Signatory:	
Date of Issue:	11th May, 2022



Item 12.4.2

**Confidential Attachment A
[RFT-R1334466] - Evaluation
Panel Report**

**Confidential Attachment B
[RFT-R1334352] - Schedule
of Rates**

**Provided in Confidential
Under Separate Cover
Appendices Booklet**

[Appendix ORD: 12.4.2C]

RISK ASSESSMENT TOOL								
OVERALL RISK EVENT:		Request for Tender RFT-F0293974 Road and Drainage Cleaning						
RISK THEME PROFILE:		1 - Asset Sustainability Practices 7 - Environment Management						
RISK ASSESSMENT CONTEXT:		Operational						
CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	Drainage pits remain uncleaned contributing to localised flooding	Minor (2)	Possible (3)	Moderate (5 - 11)	Clean pits and pipes under a maintenance program	Minor (2)	Unlikely (2)	Low (1 - 4)
FINANCIAL IMPACT	Service cost fluctuation	Minor (2)	Possible (3)	Moderate (5 - 11)	Contract prices fixed for annual terms	Minor (2)	Unlikely (2)	Low (1 - 4)
SERVICE INTERRUPTION	Drainage pits are unserviceable if left uncleaned	Moderate (3)	Possible (3)	Moderate (5 - 11)	Clean pits and pipes under a maintenance program	Minor (2)	Unlikely (2)	Low (1 - 4)
LEGAL AND COMPLIANCE	Contract disputes	Moderate (3)	Unlikely (2)	Moderate (5 - 11)	Maintain good working relationships. Identify and resolve potential disputes early.	Minor (2)	Unlikely (2)	Low (1 - 4)
REPUTATIONAL	Poor road surface treatments, visible gutter litter, drainage pipes blocked	Moderate (3)	Possible (3)	Moderate (5 - 11)	Clean roads and drainage under a maintenance program	Minor (2)	Unlikely (2)	Low (1 - 4)
ENVIRONMENT	Waste products incorrectly disposed on site, including contamination of waterways	Moderate (3)	Possible (3)	Moderate (5 - 11)	Control and direct waste disposal to nominated sites	Minor (2)	Unlikely (2)	Low (1 - 4)

[Appendix ORD: 12.4.3]

RISK ASSESSMENT TOOL								
OVERALL RISK EVENT:		Undertakings for the Shire of Dardanup Parking Local Law 2023						
RISK THEME PROFILE:		3 - Failure to Fulfil Compliance Requirements (Statutory, Regulatory)			4 - Document Management Processes			
RISK ASSESSMENT CONTEXT:		Operational						
CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
FINANCIAL IMPACT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
SERVICE INTERRUPTION	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
LEGAL AND COMPLIANCE	Council has a statutory obligation to make laws which are clear and effective.	Moderate (3)	Rare (1)	Low (1 - 4)	Not required.	Not required.	Not required.	Not required.
REPUTATIONAL	Council would be seen in a negative light if we failed in our legislative requirements.	Minor (2)	Rare (1)	Low (1 - 4)	Not required.	Not required.	Not required.	Not required.
ENVIRONMENT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.



LGE 028

Mr Andre' Schonfeldt
Chief Executive Officer
Shire of Dardanup
PO Box 7016
EATON WA 6232



Dear Mr Schonfeldt

Local Government Ordinary Election: 2023

The next local government ordinary elections are being held on 21 October 2023. While this is still some distance in the future, I have enclosed an estimate for your next ordinary election to assist in your 2023/2024 budget preparations.

The estimated cost for the 2023 election if conducted as a postal ballot is \$64,000 inc GST, which has been based on the following assumptions:

- 10,600 electors
- response rate of approximately 30%
- 4 vacancies
- count to be conducted at the offices of the Shire of Dardanup
- appointment of a local Returning Officer
- regular Australia Post delivery service to apply for the lodgement of the election packages.

An additional amount of \$2,300 will be incurred if your Council decides to opt for the Australia Post Priority Service for the lodgement of election packages.

The Commission is required by the *Local Government Act* to conduct local government elections on a full cost recovery basis and you should note that this is an estimate only and may vary depending on a range of factors.

Costs not incorporated in this estimate include:

- any legal expenses other than those that are determined to be borne by the Western Australian Electoral Commission incurred as part of an invalidity complaint lodged with the Court of Disputed Returns
- the cost of any casual staff to assist the Returning Officer on election day or night
- any unanticipated costs arising from public health requirements for the COVID-19 pandemic.

As you are aware, the Government is currently considering reforms to the *Local Government Act 1995*, which include how elections are to be conducted. In order to assist with your local government's budget planning, we have included, to the best of our knowledge, costs that will arise from the changes proposed in legislation. For example, if under the amendments your local government will be required to conduct a mayoral/presidential election this has been included.

Some local governments may also note an increase in costs from their 2021 ordinary costs. These include increases arising from inflation in recent years affecting salaries for Returning Officers and other staff, printing and packaging costs as well as the increase in postage announced by Australia Post. Additional costs from the Commission have been included arising from improved processing procedures and additional resources to supplement the Commission's education, complaints management, investigation and legal efforts.

In order for the Commission to be responsible for the conduct of your election, the first step required by the *Local Government Act 1995* is my written agreement to undertake the election.

As such, you may take this letter as my agreement to be responsible for the conduct of the ordinary elections in 2023 for the Shire of Dardanup in accordance with section 4.20(4) of the *Local Government Act 1995*, together with any other elections or polls that may also be required.

My agreement is subject to the proviso that the Shire of Dardanup also wishes to have the election undertaken by the Western Australian Electoral Commission as a postal election.

In order to achieve this, your council would need to pass the following two motions by absolute majority:

- Declare, in accordance with section 4.20(4) of the *Local Government Act 1995*, the Electoral Commissioner to be responsible for the conduct of the 2023 ordinary elections together with any other elections or polls which may be required
- Decide, in accordance with section 4.61(2) of the *Local Government Act 1995* that the method of conducting the election will be as a postal election.

It would be greatly appreciated if this item was considered at your March council meeting, to enable the Commission to have sufficient time to work with you to effectively conduct the election.

I look forward to conducting this election for the Shire of Dardanup in anticipation of an affirmative vote by Council. If you have any further queries please contact Shani Wood Director, Election Operations on 9214 0400.

Yours sincerely



Robert Kennedy
ELECTORAL COMMISSIONER

9 February 2023

[Appendix ORD: 12.4.4B]

RISK ASSESSMENT TOOL								
OVERALL RISK EVENT:		Western Australian Electoral Commission – Local Government Ordinary Election 2023						
RISK THEME PROFILE:		3 - Failure to Fulfil Compliance Requirements (Statutory, Regulatory)						
RISK ASSESSMENT CONTEXT:		Strategic						
CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
FINANCIAL IMPACT	Risk of election costs exceeding the budget.	Moderate (3)	Unlikely (2)	Moderate (5 - 11)	Not required.	Not required.	Not required.	Not required.
SERVICE INTERRUPTION	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
LEGAL AND COMPLIANCE	Risk of not complying with the election provisions in the Local Government Act and Regulations.	Moderate (3)	Possible (3)	Moderate (5 - 11)	Not required.	Not required.	Not required.	Not required.
REPUTATIONAL	Risk to Council's reputation if the election process is flawed or no performed correctly.	Moderate (3)	Possible (3)	Moderate (5 - 11)	Not required.	Not required.	Not required.	Not required.
ENVIRONMENT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.

[Appendix ORD: 12.4.5A]

RISK ASSESSMENT TOOL								
OVERALL RISK EVENT: Monthly Statement of Financial Activity for the Period Ended on the 28th February 2023 RISK THEME PROFILE: 3 - Failure to Fulfil Compliance Requirements (Statutory, Regulatory) RISK ASSESSMENT CONTEXT: Operational								
CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN <small>(Treatment or controls proposed)</small>	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
FINANCIAL IMPACT	Not monitoring ongoing financial performance would increase the risk of a negative impact on the financial position.	Moderate (3)	Unlikely (2)	Moderate (5 - 11)	Not required.	Not required.	Not required.	Not required.
SERVICE INTERRUPTION	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
LEGAL AND COMPLIANCE	Non-compliance with the legislative requirements that results in a qualified audit.	Minor (2)	Unlikely (2)	Low (1 - 4)	Not required.	Not required.	Not required.	Not required.
REPUTATIONAL	Non-compliance that results in a qualified audit can lead stakeholders to question the Council's ability to manage finances effectively.	Insignificant (1)	Unlikely (2)	Low (1 - 4)	Not required.	Not required.	Not required.	Not required.
ENVIRONMENT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.



Monthly Financial Report

For the Period

1 July 2022 to 28 February 2023

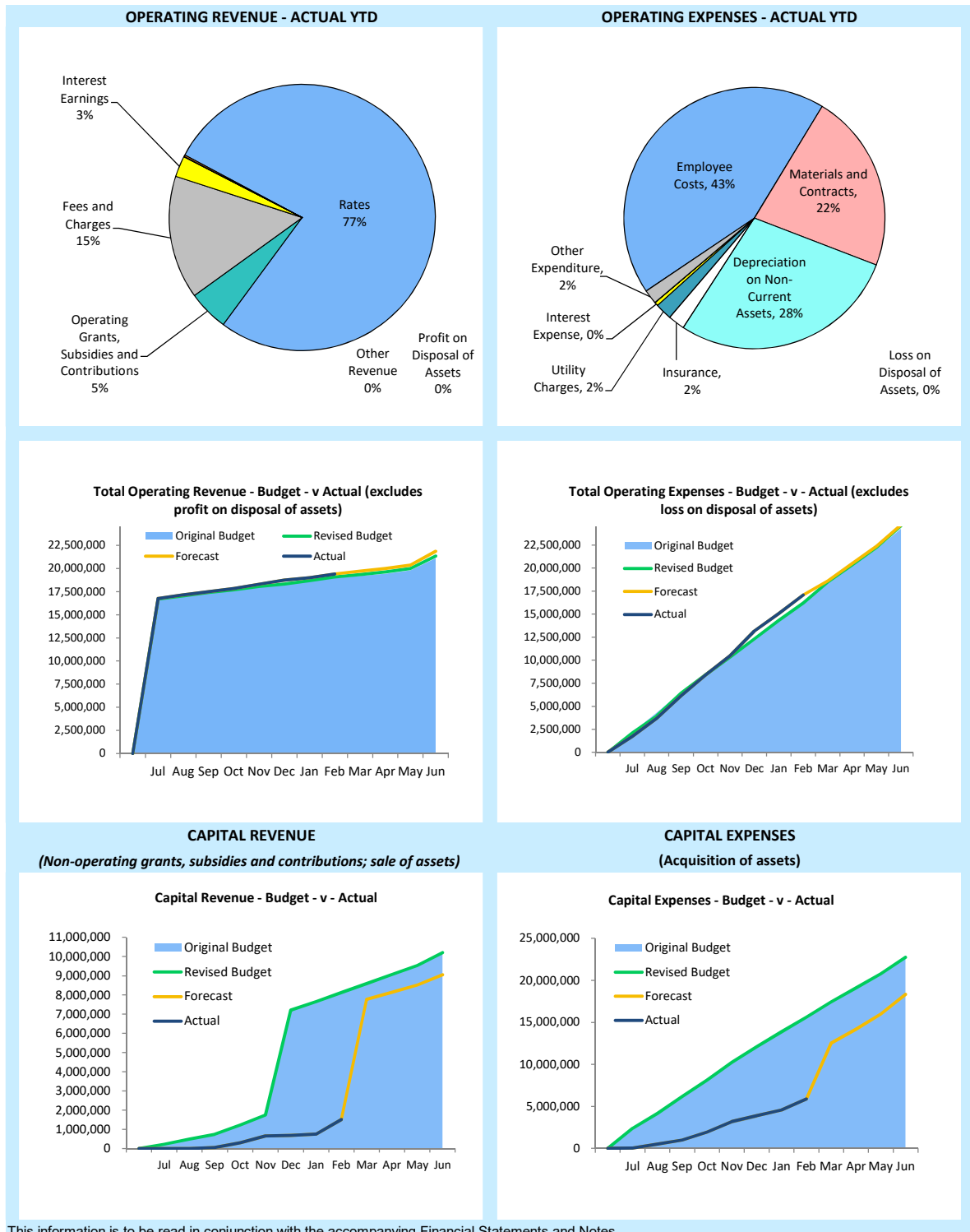
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Monthly Financial Report
For the Period Ended 28 February 2023

SUMMARY GRAPHS



This information is to be read in conjunction with the accompanying Financial Statements and Notes

[Appendix ORD: 12.4.5B]



Statement of Financial Activity by Nature and Type For the Period Ended 28 February 2023 (Covering 8 months or 67% of the year)

	2022/23	2022/23	2022/23	2022/23	Variance Y-T-D		2022/23	2021/22
	Adopted Budget \$	Revised Budget \$	Y-T-D Revised Budget \$	Y-T-D Actual \$	Actual to Revised Budget \$	Actual to Revised Budget %	Forecast \$	Last Year Actual \$
OPERATING ACTIVITIES								
Operating revenue								
Rates	15,021,963	15,021,963	14,986,070	15,016,962	30,892	0.2%	15,048,103	14,307,664
Operating grants, subsidies & contributions	2,457,135	2,692,505	1,150,817	954,445	(196,372)	(17.1%) ▼	2,794,991	2,984,793
Fees and charges	3,331,234	3,331,234	2,748,825	2,904,241	155,416	5.7% ▲	3,461,599	3,409,896
Interest earnings	269,350	269,350	208,049	490,164	282,115	135.6% ▲	656,265	190,871
Other revenue	29,226	29,226	14,612	9,741	(4,871)	(33.3%) ▼	29,226	23,436
Profit on asset disposal	2,942,186	2,942,186	2,941,534	40,000	(2,901,534)	(98.6%) ▼	2,942,186	22,505
Total Operating Revenue	24,051,094	24,286,464	22,049,907	19,415,553	(2,634,354)	(11.9%)	24,932,370	20,939,165
Operating expenses								
Employee costs	(11,453,887)	(11,453,887)	(7,408,307)	(7,368,508)	39,799	0.5%	(11,250,219)	(10,564,139)
Materials and contracts	(5,279,133)	(5,598,238)	(3,740,539)	(3,783,183)	(42,644)	(1.1%) ▼	(5,831,270)	(6,550,688)
Utility charges	(571,758)	(571,758)	(354,497)	(353,504)	993	0.3%	(572,108)	(573,880)
Depreciation on non-current assets	(6,017,969)	(6,017,969)	(4,011,912)	(4,840,202)	(828,290)	(20.6%) ▼	(7,366,537)	(5,619,217)
Interest expenses	(204,976)	(205,798)	(81,336)	(78,643)	2,693	3.3%	(196,187)	(108,244)
Insurance expenses	(339,527)	(339,527)	(293,702)	(355,267)	(61,565)	(21.0%) ▼	(354,741)	(318,720)
Other expenses	(392,196)	(402,196)	(305,232)	(301,875)	3,357	1.1%	(442,196)	(416,236)
Loss on asset disposals	0	0	0	(2,980)	(2,980)	(100.0%) ▼	0	(59,741)
Total operating expenditure	(24,259,447)	(24,589,374)	(16,195,525)	(17,084,163)	(888,638)	(5.5%)	(26,013,259)	(24,210,865)
Adjustments of non cash items								
(Profit)/Loss on Asset Disposals	(2,942,186)	(2,942,186)	(2,941,534)	(37,020)	2,904,514	98.7% ▲	(2,942,186)	37,236
Accruals	0	0	0	0	0	0.0%	(16,750)	(1,874)
Movement in non-current assets and liabilities	0	0	0	(8,306)	(8,306)	(100.0%) ▼	0	(47,033)
Movement in contract liabilities associated with restricted cash	0	0	0	(46,289)	(46,289)	(100.0%) ▼	0	(47,033)
Depreciation on Assets	6,017,969	6,017,969	4,011,912	4,840,202	828,290	20.6% ▲	7,366,537	5,619,217
Non-cash amounts excluded from operating activities	3,075,783	3,075,783	1,070,378	4,748,587	3,678,209	343.6%	4,407,602	5,607,546
Adjusted net operating activities	2,867,430	2,772,874	6,924,760	7,079,977	155,217	2.2%	3,326,712	2,335,846
INVESTING ACTIVITIES								
Non-operating grants, subsidies & contributions	5,179,259	4,123,289	2,390,006	1,455,721	(934,285)	(39.1%) ▼	4,844,003	7,438,890
Proceeds from disposal of assets	5,025,000	5,077,067	5,059,502	60,080	(4,999,422)	(98.8%) ▼	5,117,067	243,274
Payments for land and buildings	(17,314,573)	(16,333,790)	(8,556,560)	(3,444,616)	5,111,944	59.7% ▲	(12,302,213)	(6,032,993)
Payments for transport infrastructure	(4,217,151)	(4,621,912)	(3,760,525)	(1,279,286)	2,481,239	66.0% ▲	(4,621,912)	(3,270,707)
Payments for parks and reserves infrastructure	(845,258)	(1,106,033)	(989,920)	(582,135)	407,785	41.2% ▲	(1,106,033)	(746,543)
Payments for motor vehicles	(80,000)	(123,911)	(80,000)	(579,139)	(499,139)	(623.9%) ▼	(625,110)	(829,094)
Payments for plant & equipment	0	0	0	0	0	0.0%	0	(398,755)
Payments for furniture & fittings	(168,382)	(175,290)	(112,240)	0	112,240	100.0% ▲	(175,290)	(58,483)
Amount attributable to investing activities	(12,421,105)	(13,160,580)	(6,049,737)	(4,369,375)	1,680,362	27.8%	(8,869,488)	(3,654,411)
Non-cash amounts excluded from investing activities								
Movement in non-current developer contributions	0	0	0	0	0	0.0%	0	(251,763)
Movement in non-operating grants and contributions associated with restricted cash	0	0	0	493,816	493,816	100.0% ▲	(1,109,964)	(1,799,589)
Adjusted amount attributable to investing activities	(12,421,105)	(13,160,580)	(6,049,737)	(3,875,559)	2,174,178	35.9%	(9,979,452)	(5,705,763)
FINANCING ACTIVITIES								
Proceeds from new debentures	7,000,000	6,700,000	700,000	700,000	0	0.0%	6,700,000	320,000
Transfers from reserves	13,715,412	14,890,319	10,256,178	6,092,986	(4,163,192)	(40.6%) ▼	12,022,134	13,956,121
Repayment of debentures	(529,714)	(387,855)	(271,606)	(270,384)	1,222	0.4%	(392,533)	(333,977)
Principal portion of lease liabilities	(238,834)	(238,834)	(164,087)	(132,559)	31,528	19.2% ▲	(237,219)	(188,701)
Transfers to reserves	(10,440,476)	(10,492,173)	0	(1,470,597)	(1,470,597)	(100.0%) ▼	(11,247,157)	(11,169,323)
Amount attributable to financing activities	9,506,389	10,471,457	10,520,485	4,919,446	(5,601,039)	(53.2%)	6,845,225	2,584,120
FUNDING SOURCES								
Surplus/(Deficit) July 1 B/Fwd	184,453	184,453	184,453	175,393	(9,060)	(4.9%) ▼	175,393	961,190
CLOSING FUNDS (A+B+C+D)	137,167	268,204	11,579,961	8,299,257	(3,280,704)	(28.3%)	367,879	175,393

KEY INFORMATION

▲ ▼ Indicates a significant variance between Year-to-Date (YTD) Revised Budget and YTD Actual data as per the adopted materiality threshold.

▲ indicates a positive impact on the surplus/deficit position. ▼ indicates a negative impact on the surplus/deficit position.

Refer to Note 2 for an explanation of the reasons for the variance.

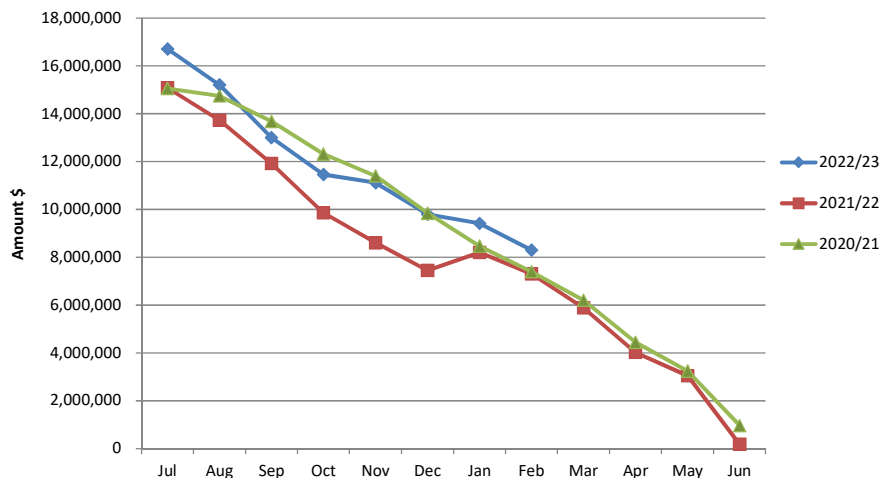
This statement to be read in conjunction with the accompanying Financial Statements and Notes



**Statement of Financial Activity by Nature and Type
For the Period Ended 28 February 2023
NET CURRENT ASSETS**

Note	Year to Date Actual 28-Feb-2023 \$	Same Time Last Year Actual 28-Feb-2022	Last Year Closing 30-Jun-2022 \$
Represented By:			
CURRENT ASSETS			
Cash and Cash Equivalents	22,939,075	25,750,645	22,165,701
Rates Debtors Outstanding	2,427,349	2,204,527	465,832
Pensioner Rates Rebate	22,909	32,884	19,104
Sundry Debtors	72,260	1,006,442	394,055
Accrued Revenue	120,344	32,259	244,738
Prepaid Expenses	0	0	41,896
Goods & Services Tax / BAS Refund	236,801	195,241	378,414
Other Receivables	(1,949)	(1,687)	0
Inventories - Land Held for Resale	1	0	1
Inventories - Materials	7,122	6,318	7,122
Inventories- Trading Stock - Recreation Centre	7,159	5,842	7,159
Current Assets	25,831,071	29,232,471	23,724,022
LESS CURRENT LIABILITIES			
Payables:			
Sundry Creditors	0	(181,448)	(1,149,276)
Goods & Services Tax / BAS Payable	0	0	0
Other Payables	(318,078)	(373,634)	(11,040)
Municipal Bonded Liabilities	(511,451)	(639,292)	(573,692)
Contract Liabilities	(1,541,560)	(1,475,831)	(1,072,337)
Prepaid Revenue - Rates / PPL	(544,892)	(502,459)	(890,198)
Accrued Interest on Debentures	(28,572)	(30,331)	(28,572)
Accrued Salaries & Wages	0	0	(171,847)
Other Accrued Expenses	0	0	(6,565)
Borrowings - Debentures	(122,149)	(81,198)	(392,533)
Provisions:			
Staff Leave Provisions	(1,648,142)	(1,448,277)	(1,636,069)
Current Liabilities	(4,714,845)	(4,732,470)	(5,932,129)
Net Current Assets	21,116,226	24,500,001	17,791,893
Less: Restricted Assets / Reserve Funds	(14,429,703)	(18,702,034)	(19,052,092)
Add: Current - Borrowings	122,149	81,198	392,533
Add: Current - Contract Liabilities held in Reserve accounts	1,295,832	1,262,621	848,305
Add: Current - Contract Liabilities - Leases	194,754	167,441	194,754
CLOSING FUNDS / NET CURRENT ASSETS (per previous page)	8,299,257	7,309,227	175,393

Liquidity Over The Year



[Appendix ORD: 12.4.5B]



Statement of Comprehensive Income by Program For the Period Ended 28 February 2023 (Covering 8 months or 67% of the year)

	2022/23 Adopted Budget \$	2022/23 Revised Budget \$	2022/23 Y-T-D Revised Budget \$	2022/23 Y-T-D Actual \$	Variance Y-T-D		2022/23 Forecast \$	2021/22 Last Year Actual \$
					Actual to Revised Budget \$	Actual to Revised Budget %		
Revenue								
General Purpose Funding	16,606,755	16,606,755	15,341,111	15,578,385	237,274	1.5%	17,040,355	16,197,052
Governance	800	40,800	40,520	41,722	1,202	3.0%	42,414	4,282
Law, Order, Public Safety	312,737	508,107	304,226	251,672	(52,554)	(17.3%)	526,602	504,600
Health	28,050	28,050	18,696	25,719	7,023	37.6%	29,050	23,504
Education and Welfare	6,000	6,000	5,664	5,700	36	(0.6%)	6,000	2,550
Community Amenities	1,756,509	1,756,509	1,659,406	1,747,082	87,676	5.3%	1,910,642	1,732,986
Recreation and Culture	1,777,990	705,525	1,273,944	1,295,882	21,938	1.7%	1,815,956	1,849,379
Transport	196,957	196,957	174,462	166,084	(8,378)	(4.8%)	200,057	210,248
Economic Services	195,250	195,250	138,472	104,240	(34,232)	(24.7%)	182,872	169,233
Other Property and Services	229,800	229,800	153,160	159,066	5,906	3.9%	236,236	222,825
	<u>21,110,848</u>	<u>20,273,753</u>	<u>19,109,661</u>	<u>19,375,553</u>	<u>265,892</u>	<u>1.4%</u>	<u>21,990,184</u>	<u>20,916,659</u>
Expenses								
General Purpose Funding	(389,518)	(389,518)	(246,974)	(273,542)	(26,568)	(10.8%)	(404,928)	(532,978)
Governance	(1,303,217)	(1,343,217)	(852,988)	(841,517)	11,471	1.3%	(1,363,617)	(1,387,717)
Law, Order, Public Safety	(1,748,584)	(1,953,954)	(1,249,753)	(1,188,497)	61,256	4.9%	(2,005,704)	(1,717,806)
Health	(597,360)	(597,360)	(388,895)	(365,850)	23,045	5.9%	(578,519)	(531,650)
Education and Welfare	(976,940)	(966,940)	(632,061)	(506,065)	125,996	19.9%	(911,996)	(864,255)
Community Amenities	(3,513,422)	(3,583,822)	(2,279,135)	(2,270,957)	8,178	0.4%	(3,676,493)	(3,281,154)
Recreation & Culture	(8,359,365)	(8,377,515)	(5,535,776)	(6,266,646)	(730,870)	(13.2%)	(9,368,405)	(8,148,781)
Transport	(6,596,712)	(6,596,712)	(4,390,579)	(4,881,254)	(490,675)	(11.2%)	(7,125,257)	(6,746,647)
Economic Services	(474,369)	(484,369)	(339,662)	(376,950)	(37,288)	(11.0%)	(467,051)	(526,260)
Other Property and Services	(301,901)	(297,908)	(280,990)	(109,905)	171,085	60.9%	(111,289)	(413,875)
	<u>(24,261,387)</u>	<u>(24,591,314)</u>	<u>(16,196,813)</u>	<u>(17,081,183)</u>	<u>(884,370)</u>	<u>(5.5%)</u>	<u>(26,013,259)</u>	<u>(24,151,123)</u>
Operational Surplus / (Deficit)	(3,150,539)	(4,317,561)	2,912,848	2,294,370	(618,478)	21.2%	(4,023,075)	(3,234,464)
Grants & Contributions for the Development of Assets	5,179,259	4,123,289	2,390,006	1,455,721	(934,285)	(39.1%)	4,844,003	7,438,890
Profit on Asset Disposals	2,942,186	2,942,186	2,941,534	40,000	(2,901,534)	(100.0%)	2,942,186	0
Loss on Asset Disposals	0	0	0	(2,980)	(2,980)	0.0%	0	(37,236)
	<u>8,121,445</u>	<u>7,065,475</u>	<u>5,331,540</u>	<u>1,492,741</u>	<u>(3,838,799)</u>	<u>72.0%</u>	<u>7,786,189</u>	<u>7,401,654</u>
NET RESULT	4,970,906	2,747,914	8,244,388	3,787,111	(4,457,277)	(54.1%)	3,763,114	4,167,190
Other Comprehensive Income								
Changes on Revaluation of Non-Current Assets	0	0	0	0	0	0.0%	0	0
TOTAL COMPREHENSIVE INCOME	<u>4,970,906</u>	<u>2,747,914</u>	<u>8,244,388</u>	<u>3,787,111</u>	<u>(4,457,277)</u>	<u>54.1%</u>	<u>3,763,114</u>	<u>4,167,190</u>

[Appendix ORD: 12.4.5B]



Notes to the Statement of Financial Activity For the Period Ended 28 February 2023

1. PROGRAMS / ACTIVITIES

In order to discharge its responsibilities to the community, the Shire has developed a set of operational and financial objectives. These objectives have been established both on an overall basis, reflected by the Shire's Community Vision and for each of its broad activities/programs.

COMMUNITY VISION

Provide effective leadership in encouraging balanced growth and development of the Shire while recognising the diverse needs of the community.

PROGRAM NAME	OBJECTIVE	ACTIVITIES
GENERAL PURPOSE FUNDING	To collect revenue to allow for the provision of services	Rates, general purpose government grants and interest revenue.
GOVERNANCE	To provide a decision making process for the efficient allocation of scarce resources.	Includes the activities of members of Council and the administration support available to Council for the provision of governance of the District. Other costs relate to the task of assisting elected members and ratepayers on matters which do not concern specific Council services.
LAW, ORDER, PUBLIC SAFETY	To provide services to help ensure a safer and environmentally conscious	Supervision and enforcement of various local-laws relating to the fire prevention, animal control and protection of the environment, and other aspects of public safety including emergency services.
HEALTH	To provide services to achieve community and environmental health.	Maternal and infant health facilities, immunisation, meat inspection services, inspection of food outlets, noise control and pest control services.
EDUCATION AND WELFARE	To provide services to children, youth, the elderly and disadvantaged persons.	Pre-school and other education services, child minding facilities, playgroups, senior citizens' centres.
COMMUNITY AMENITIES	To provide services required by the community.	Waste collection services, operation of refuse site, litter control, construction and maintenance of urban storm water drains, protection of the environment and administration of town planning schemes, cemeteries and public conveniences.
RECREATION AND CULTURE	To establish and effectively manage infrastructure and resources which help the social well being of the community.	Maintenance of halls, civic buildings, river banks, recreation centre and various sporting facilities. Provision and maintenance of parks, gardens and playgrounds. Operation of library and other cultural facilities.
TRANSPORT	To promote safe, effective and efficient transport services to the community.	Construction and maintenance of streets, roads, bridges, footpaths, cycle ways, parking facilities, traffic control and depot. Cleaning of streets and maintenance of street trees, street lighting, etc.
ECONOMIC SERVICES	To help promote the shire and its economic wellbeing.	Tourism and area promotion, building control, provision of rural services including weed control and vermin control, standpipes.
OTHER PROPERTY & SERVICES	To monitor and control Council's overheads operating accounts.	Private works operations, general administration overheads, plant repairs and operating costs, public works overheads.



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

2. EXPLANATION OF MATERIAL VARIANCES IN THE STATEMENT OF FINANCIAL ACTIVITY

The material variances adopted by the Shire of Dardanup for reporting in the 2022/23 year is 5% or \$25,000, whichever is the greater. All variances are between Year-to-Date Actual and Year-to-Date Revised Budget values.

	2022/23 Y-T-D Revised Budget \$	2022/23 Y-T-D Actual \$	Variance to Y-T-D Revised Budget \$	Variance to Y-T-D Revised Budget %	Timing / Permanent	Material Variance - Explanation
OPERATING ACTIVITIES						
Revenue						
Rates	14,986,070	15,016,962	30,892	0.2%		
	1,150,817	954,445	(196,372)	(17.1%)	▼ Permanent / Timing	<i>Permanent</i> : \$15,000 additional grants received for community events and festivals. <i>Timing</i> : \$80,000 lower for LGGC financial assistance grants not received, \$65,000 lower for bushfire mitigation activity not commenced and \$70,000 lower Education Dept use of Eaton Recreation Centre/ Glen Huon Oval (invoice not yet issued)
Operating grants, subsidies & contributions						
Fees and charges	2,748,825	2,904,241	155,416	5.7%	▲ Permanent / Timing	<i>Permanent</i> : Higher than expected revenue from various fees and charges including \$44,000 waste collection fees & charges, \$29,000 planning application fees, \$24,000 DAMA application fees. <i>Timing</i> : More fees & charges received to date - \$41,500 Eaton Recreation Centre membership, cafe & activities, \$5,000 Health inspection licence fees (food premises).
Interest earnings	208,049	490,164	282,115	135.6%	▲ Permanent	Increase in interest received on bank accounts and term deposit investments due to higher than expected interest rates.
Other revenue	14,612	9,741	(4,871)	(33.3%)		
Profit on asset disposal	2,941,534	40,000	(2,901,534)	(100.0%)	▼ Timing	Profit to be realised upon sale of land now expected in the last quarter of the year
Total Operating Revenue	22,049,907	19,415,553	(2,634,354)	(11.9%)		
Operating Expenses						
Employee costs	(7,408,307)	(7,368,508)	39,799	0.5%		
Materials and contracts	(3,740,539)	(3,783,183)	(42,644)	(1.1%)		
Utility charges	(354,497)	(353,504)	993	0.3%		
Depreciation on non-current assets	(4,011,912)	(4,840,202)	(828,290)	(20.6%)	▼ Permanent	Increase in depreciation expense for infrastructure assets as a result of higher replacement cost values from independent revaluations carried out 30 June 2022.
Interest expenses	(81,336)	(78,643)	2,693	3.3%		
Insurance expenses	(293,702)	(355,267)	(61,565)	(21.0%)	▼ Timing	All annual insurances paid as at reporting date. Budgets for buildings and bushfire brigade vehicles insurance costs are evenly spread over the year.
Other expenses	(305,232)	(301,875)	3,357	1.1%		
Loss on asset disposals	0	(2,980)	(2,980)	(100.0%)		
Total Operating Expenditure	(16,195,525)	(17,084,163)	(888,638)	5.5%		
Net Operating Activities	5,854,382	2,331,390	(3,522,992)	(60.2%)		

(continued next page)



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

2. EXPLANATION OF MATERIAL VARIANCES IN THE STATEMENT OF FINANCIAL ACTIVITY (continued)

	2022/23 Y-T-D Revised Budget \$	2022/23 Y-T-D Actual \$	Variance to Y-T-D Revised Budget \$	Variance to Y-T-D Revised Budget %	Timing / Permanent	Material Variance - Explanation
ADJUSTMENTS OF NON CASH ITEMS						
(Profit)/Loss on Asset Disposals	(2,941,534)	(37,020)	2,904,514	98.7%	▲ Timing	Profit to be realised upon sale of land now expected in the last quarter of the year
Accruals	0	(8,306)	(8,306)	(100.0%)	▼ Timing	
Movement in contract liabilities associated with restricted cash	0	(46,289)	(46,289)	(100.0%)	▼ Timing	Operating grants held as contract liabilities are transferred to revenue when required for related projects. These funds are also held in Reserve accounts. This adjustment is to offset the duplication of funding as revenue as well as transfer from reserve.
Depreciation on Assets	4,011,912	4,840,202	828,290	20.6%	▲ Permanent	Increase in depreciation expense for infrastructure assets as a result of higher replacement cost values from independent revaluations carried out 30 June 2022.
Adjusted Net Operating Activities	6,924,760	7,079,977	155,217	2.2%		
INVESTING ACTIVITIES						
Revenue						
Non-operating grants, subsidies & contributions	2,390,006	1,455,721	(934,285)	(39.1%)	▼ Timing	Less grants recognised as revenue to date - linked to lower expenditure to date on related construction projects. Additional grant from DFES for Waterloo Fire Tender.
Proceeds from disposal of assets	5,059,502	60,080	(4,999,422)	(98.8%)	▼ Timing	Profit to be realised upon sale of land now expected in the last quarter of the year
Payments for land and buildings	(8,556,560)	(3,444,616)	5,111,944	59.7%	▲ Timing	Lower costs to date than budget estimates for building projects, including upgrade to community halls, Eaton Oval clubrooms, Eaton skate park, Sport Lighting and new Administration Centre / Library.
Payments for transport infrastructure assets	(3,760,525)	(1,279,286)	2,481,239	66.0%	▲ Timing	Less activity than budget estimate to date on some major transport upgrade and renewal projects - Ferguson Road, Pratt Road, Glenhuon Boulevard/Eaton Drive intersection, Pile Road, and several bridge renewals. Timing of bridge renewals is dependent on Main Roads WA work schedules.
Payments for parks infrastructure assets	(989,920)	(582,135)	407,785	41.2%	▲ Timing	Most parks and reserves construction projects are at design or commenced construction, including East Millbridge POS and Eaton Foreshore Bore replacement. Dardanup Civic Precinct and Lofthouse Park are nearing completion.
Payments for motor vehicles	(80,000)	(579,139)	(499,139)	(623.9%)	▼ Permanent	Acquisition of new DFES provided Fire Tender for Waterloo
Payments for furniture & fittings	(112,240)	0	112,240	100.0%	▲ Timing	Purchase of replacement IT equipment has not yet occurred.
Net investing activities	(6,049,737)	(4,369,375)	1,680,362	27.8%		
Non-cash amounts excluded from investing activities						
Movement in non-operating grants and contributions associated with restricted cash	0	493,816	493,816	100.0%	▲ Timing	Non-operating grants and contributions for acquisition of assets are held as contract liabilities and transferred to revenue when required for specific asset acquisition. These funds are also held in Reserve accounts. This adjustment is to offset the duplication of funding recognised as revenue as well as transfer from reserve.
Adjusted net investing activities	(6,049,737)	(3,875,559)	2,174,178	35.9%		

(continued next page)



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

2. EXPLANATION OF MATERIAL VARIANCES IN THE STATEMENT OF FINANCIAL ACTIVITY (continued)

	2022/23 Y-T-D Revised Budget \$	2022/23 Y-T-D Actual \$	Variance to Y-T-D Revised Budget \$	Variance to Y-T-D Revised Budget %	Timing / Permanent	
FINANCING ACTIVITIES						
Revenue						
Proceeds from new debentures	700,000	700,000	0	0.0%		
Transfers from reserves	10,256,178	6,092,986	(4,163,192)	(40.6%)	▼	Timing Less Reserve funds required to date for various asset acquisition and construction including major projects for the Administration/Library building, IT equipment replacements, Eaton Oval clubrooms, Pratt Road modifications, Glenhuon Bvd/Eaton Dr traffic control. Transfer related to sale of land to now occur at year end.
Repayment of debentures	(271,606)	(270,384)	1,222	0.4%		
Principal portion of lease liabilities	(164,087)	(132,559)	31,528	19.2%	▲	Timing Leases are paid quarterly whereas budget is for even spread of payments. No new leases have commenced.
Transfers to Reserves	0	(1,470,597)	(1,470,597)	(100.0%)	▼	Timing Restricted grants and developer contributions received are transferred to reserves until required for related capital works. Budget did not include provision for these reserve transfers.
Total financing activities	10,520,485	4,919,446	(5,601,039)	(53.2%)		
FUNDING SOURCES						
Surplus/(Deficit) July 1 B/Fwd	184,453	175,393	(9,060)	(4.9%)		
CLOSING FUNDS (A+B+C+D)	11,579,961	7,805,442	(3,280,704)	(28.3%)		



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

3. TRUST FUNDS

Funds held at reporting date over which the Shire has no control and which are not included in the financial statements are as follows:

NAME	BALANCE 1 JULY	RECEIPTS	INTEREST	PAYMENTS	ADJUSTMENTS (TRANSFERS)	CLOSING BALANCE
	\$	\$	\$	\$	\$	\$
Ross & Deborah Bevan	40,003.22	0.00	0.00	0.00	0.00	40,003.22
Public Open Space	527,596.37	0.00	0.00	(15,814.11)	0.00	511,782.26
Dept Communities Grant - Auspicing for Goodstart Eaton Child Care Centre	25,000.00	0.00	0.00	0.00	0.00	25,000.00
Accrued Interest	0.00	0.00	7,991.92	0.00	0.00	7,991.92
Plus: Outstanding Creditors	0.00	0.00	0.00	0.00	0.00	0.00
Less: Outstanding Debtors	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL	592,599.59	0.00	7,991.92	(15,814.11)	0.00	584,777.40

4. RESERVES - CASH BACKED

All reserves are supported by cash and cash equivalents and are restricted within equity as Reserves - cash backed.

NAME	BALANCE 1 JULY	RECEIPTS	INTEREST	PAYMENTS	ADJUSTMENTS (TRANSFERS)	CLOSING BALANCE
	\$	\$	\$	\$	\$	\$
Council Restricted						
Executive & Compliance Vehicles Reserve	223,902.88	0.00	0.00	0.00	0.00	223,902.88
Plant & Engineering Equipment Reserve	585,646.52	0.00	0.00	0.00	0.00	585,646.52
Eaton Recreation Centre - Equipment Reserve	303,650.04	0.00	0.00	(35,804.34)	0.00	267,845.70
Building Maintenance Reserve	3,550,218.30	0.00	0.00	(2,407,677.71)	0.00	1,142,540.59
Employee Relief Reserve	265,625.85	0.00	0.00	0.00	0.00	265,625.85
Employee Leave Entitlements Reserve	48,755.58	0.00	0.00	0.00	0.00	48,755.58
Refuse Site Environmental Works Reserve	84,255.28	0.00	0.00	0.00	0.00	84,255.28
Information Technology Reserve	699,456.58	0.00	0.00	0.00	0.00	699,456.58
Roadwork Construction & Major Maintenance Reserve	801,283.59	0.00	0.00	(98,820.72)	0.00	702,462.87
Accrued Salaries Reserve	500,668.37	0.00	0.00	0.00	0.00	500,668.37
Tourism Reserve	11,777.32	0.00	0.00	0.00	0.00	11,777.32
Recycling Education Reserve	44,211.29	0.00	0.00	0.00	0.00	44,211.29
Road Safety Programs Reserve	26,778.71	0.00	0.00	0.00	0.00	26,778.71
Council Land Development Reserve	22,681.01	0.00	0.00	0.00	0.00	22,681.01
Carried Forward Projects Reserve	3,235,514.34	0.00	0.00	(1,043,586.41)	0.00	2,191,927.93
Election Expenses Reserve	11,650.71	0.00	0.00	0.00	0.00	11,650.71
Town Planning Consultancy Reserve	28,072.37	0.00	0.00	(7,000.00)	0.00	21,072.37
Parks & Reserves Upgrades Reserve	145,854.33	0.00	0.00	(68,317.44)	0.00	77,536.89
Strategic Planning Studies Reserve	109,507.55	0.00	0.00	0.00	0.00	109,507.55
Pathways Reserve	174,197.69	0.00	0.00	(6,712.55)	0.00	167,485.14
Asset / Rates Revaluation Reserve	184,810.63	0.00	0.00	0.00	0.00	184,810.63
Refuse & Recycling Bin Replacement Reserve	59,919.86	0.00	0.00	0.00	0.00	59,919.86
Sale of Land Reserve	2,341,667.14	0.00	0.00	0.00	0.00	2,341,667.14
Storm Water Reserve	183,642.31	0.00	0.00	(9,625.18)	0.00	174,017.13
	13,643,748.25	0.00	0.00	(3,677,544.35)	0.00	9,966,203.90
Statute Restricted						
Contribution to Works Reserve	921,807.33	14,899.82	0.00	(11,463.24)	0.00	925,243.91
Eaton Drive - Access Construction Reserve	0.00	16,523.03	0.00	0.00	0.00	16,523.03
Eaton Drive - Scheme Construction Reserve	0.00	12,692.55	0.00	0.00	0.00	12,692.55
Fire Control Reserve	11,593.54	0.00	0.00	0.00	0.00	11,593.54
Collie River (Eaton Drive) Bridge Construction Reserve	514,376.48	5,936.75	0.00	(247,996.94)	0.00	272,316.29
Unspent Grants Reserve	2,837,638.91	1,249,627.40	0.00	(2,057,922.90)	0.00	2,029,343.41
Swimming Pool Inspection Reserve	4,510.58	0.00	0.00	0.00	0.00	4,510.58
Burekup - Public Open Space	72,651.30	0.00	0.00	0.00	0.00	72,651.30
Unspent Specified Area Rate - Bulk Waste Collection Reserve	89,661.73	0.00	0.00	0.00	0.00	89,661.73
Unspent Specified Area Rate - Eaton Landscaping Reserve	239,564.73	0.00	0.00	0.00	0.00	239,564.73
Wanju Developer Contribution Plan Unspent Loan Reserve	716,539.19	0.00	0.00	(98,058.70)	0.00	618,480.49
Dardanup Expansion Developer Contribution Plan Reserve	0.00	0.00	0.00	0.00	0.00	0.00
	5,408,343.79	1,299,679.55	0.00	(2,415,441.78)	0.00	4,292,581.56
Interest	0.00	0.00	207,335.86	0.00	0.00	207,335.86
Less: Outstanding Debtors	0.00	(36,418.00)	0.00	0.00	0.00	(36,418.00)
TOTAL	19,052,092.04	1,263,261.55	207,335.86	(6,092,986.13)	0.00	14,429,703.32



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

5. MUNICIPAL LIABILITIES

Funds held at reporting date for bonds and deposits not required to be held in the Trust Fund and classified as restricted to recognise that they are owed to developers/hirers and others. These are now classified as Municipal Liabilities as follows:

	BALANCE 1 JULY	RECEIPTS	INTEREST	PAYMENTS	ADJUSTMENTS (TRANSFERS)	CLOSING BALANCE
	\$	\$	\$	\$	\$	\$
Retention Bonds						
Parkridge Group	52,360.04	0.00	0.00	(32,505.63)	0.00	19,854.41
Little Meadows Pty Ltd	15,631.53	0.00	0.00	0.00	0.00	15,631.53
Winterfall Nominees Pty Ltd	36,007.60	0.00	0.00	(15,631.53)	0.00	20,376.07
Holland Loop Pty Ltd	19,370.00	2,540.00	0.00	0.00	0.00	21,910.00
T J Coman	8,384.63	0.00	0.00	0.00	0.00	8,384.63
Garvey Road Pty Ltd	25,953.17	0.00	0.00	(25,953.17)	0.00	0.00
Burekup Developments Pty Ltd	16,945.37	0.00	0.00	0.00	0.00	16,945.37
Garvey Road Pty Ltd	7,569.43	0.00	0.00	(7,569.43)	0.00	0.00
Thompson Surveying Consultants	21,993.00	0.00	0.00	0.00	0.00	21,993.00
Anstee Earthmoving Pty Ltd	0.00	2,408.00	0.00	0.00	0.00	2,408.00
Total - Retention Bonds	204,214.77	4,948.00	0.00	(81,659.76)	0.00	127,503.01
Construction Contract Retention						
Carbone Bros - Harris Road Upgrade	33,992.00	0.00	0.00	0.00	0.00	33,992.00
Advanteering - Skate Park	23,899.55	0.00	0.00	0.00	0.00	23,899.55
Total - Construction Contract Retention	57,891.55	0.00	0.00	0.00	0.00	57,891.55
Extractive Industry Rehabilitation Bonds						
L G Davidson	1,290.20	0.00	0.00	0.00	0.00	1,290.20
M Denholm	845.24	0.00	0.00	0.00	0.00	845.24
S Catalano	1,340.36	0.00	0.00	0.00	0.00	1,340.36
Bunbury Agricultural Society	2,387.88	0.00	0.00	0.00	0.00	2,387.88
D Busher	1,282.84	0.00	0.00	0.00	0.00	1,282.84
Valli & Co	2,600.14	0.00	0.00	0.00	0.00	2,600.14
Charles Hull Contracting	7,603.41	0.00	0.00	0.00	0.00	7,603.41
J & P Group	135,809.01	0.00	0.00	0.00	0.00	135,809.01
Total - Extractive Industries Bonds	153,159.08	0.00	0.00	0.00	0.00	153,159.08
Specified Projects						
Dardanup Central Bushfire Station Refurbishment - Red Cross - A Poad Bequest	26,631.15	0.00	0.00	0.00	0.00	26,631.15
Total - Specified Projects	26,631.15	0.00	0.00	0.00	0.00	26,631.15
Sundry Deposits						
Unclaimed Monies	1,838.11	61.65	0.00	(70.11)	0.00	1,829.65
Bunbury Wellington Group of Councils (BunGeo Group of Councils - BGGC)	50,532.31	3,000.00	0.00	0.00	0.00	53,532.31
Total - Sundry Deposits	52,370.42	3,061.65	0.00	(70.11)	0.00	55,361.96
Election Deposits	0.00	0.00	0.00	0.00	0.00	0.00
Key Bonds	752.68	440.00	0.00	(520.00)	0.00	672.68
Hire Bonds	3,630.00	6,490.00	0.00	(6,820.00)	0.00	3,300.00
Kerb Bonds	75,041.91	0.00	0.00	0.00	0.00	75,041.91
Construction Training Fund	8,434.41	9,226.15	0.00	(12,806.52)	0.00	4,854.04
Building Services Levy	2,606.31	31,973.44	0.00	(27,543.98)	0.00	7,035.77
Development Assessment Panel	0.00	11,630.00	0.00	(11,630.00)	0.00	0.00
Less Outstanding Debtors	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL	584,732.28	67,769.24	0.00	(141,050.37)	0.00	511,451.15

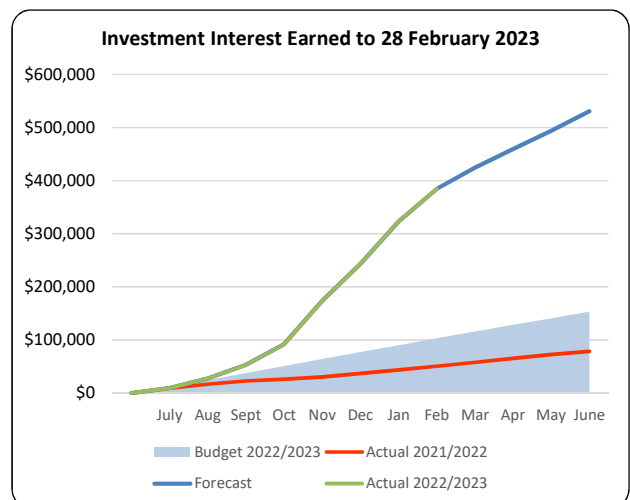
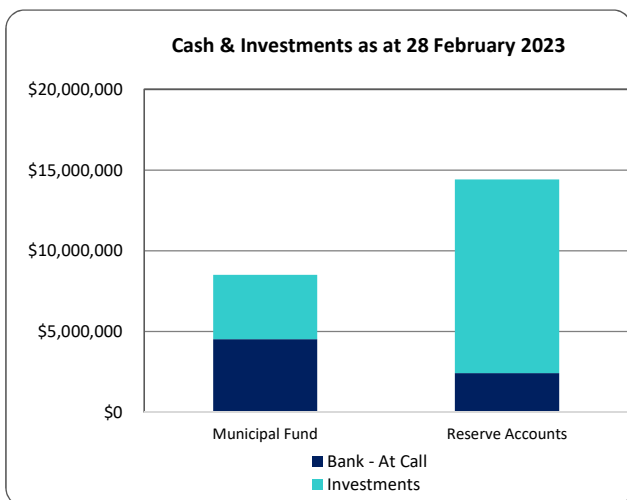
[Appendix ORD: 12.4.5B]



Notes to the Statement of Financial Activity For the Period Ended 28 February 2023

6. STATEMENT OF INVESTMENTS

BANK	TYPE	AMOUNT	RATE	DAYS	COMMENCE	MATURITY	ESTIMATED INTEREST	INTEREST CREDITED 2022-2023
MUNICIPAL FUND								
CBA	Municipal Fund Bank Account	\$ 3,494,627.17	3.15%					\$48,308.00
CBA	Municipal - Business Online Saver	\$ 1,018,151.60	3.45%					\$16,822.40
CBA	Term Deposit	\$ 1,000,000.00	4.02%	90	01/2023	04/2023	\$9,912.33	\$8,751.78
CBA	Term Deposit	\$ 1,000,000.00	4.20%	90	10/2022	02/2023	\$10,356.16	\$12,263.01
NAB	Term Deposit	\$ 1,000,000.00	4.20%	91	10/2022	02/2023	\$10,471.23	\$12,230.14
NAB	Term Deposit	\$ 1,000,000.00	4.00%	92	01/2023	05/2023	\$10,082.19	\$8,975.35
		<u>\$ 8,512,778.77</u>					<u>\$40,821.92</u>	<u>\$107,350.68</u>
TRUST FUND								
CBA	Trust Fund Bank Account	\$ 584,777.40	3.15%					\$7,991.92
		<u>\$ 584,777.40</u>					<u>\$0.00</u>	<u>\$7,991.92</u>
RESERVE ACCOUNTS								
CBA	Reserve Bank Account	\$ 25,767.09	3.15%					\$33,020.60
CBA	Reserve - Business Online Saver	\$ 2,397,068.41	3.45%					\$83,459.09
CBA	Term Deposit	\$ 1,500,000.00	4.13%	90	01/2023	04/2023	\$15,275.34	\$13,276.85
CBA	Term Deposit	\$ 1,500,000.00	4.20%	90	10/2022	02/2023	\$15,534.25	\$18,394.52
CBA	Term Deposit	\$ 1,500,000.00	3.85%	150	10/2022	03/2023	\$23,732.88	
CBA	Term Deposit	\$ 1,000,000.00	3.96%	180	10/2022	04/2023	\$19,528.77	
NAB	Term Deposit	\$ 1,500,000.00	4.00%	92	01/2023	05/2023	\$15,123.29	\$13,463.02
NAB	Term Deposit	\$ 1,500,000.00	4.05%	182	10/2022	05/2023	\$30,291.78	
AMP	Term Deposit	\$ 1,000,000.00	4.50%	180	11/2022	05/2023	\$22,191.78	
BEYOND	Term Deposit	\$ 1,000,000.00	4.05%	151	11/2022	04/2023	\$16,754.79	
NAB	Term Deposit	\$ 1,500,000.00	3.70%	92	11/2022	03/2023	\$13,989.04	
	Interest received on matured deposits							\$32,525.51
		<u>\$ 14,422,835.50</u>					<u>\$172,421.92</u>	<u>\$194,139.59</u>
Total Interest Received								<u><u>\$309,482.19</u></u>





Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

6. STATEMENT OF INVESTMENTS (continued)

Total Funds Invested

Total Funds Invested as at Reporting Date -

Municipal Fund Investment Portfolio	\$ 4,000,000.00
Trust Fund Investment Portfolio	\$ -
Reserve Fund Investment Portfolio	\$ 12,000,000.00
	<u>\$ 16,000,000.00</u>

Investment Policy - Portfolio Risk Exposure

Council's investment policy provides a framework to manage the risks associated with financial investments.

Portfolio - Terms of Maturity

Limits are placed on the term to maturity thereby reducing the impact of any significant change in interest rate markets and to provide liquidity.

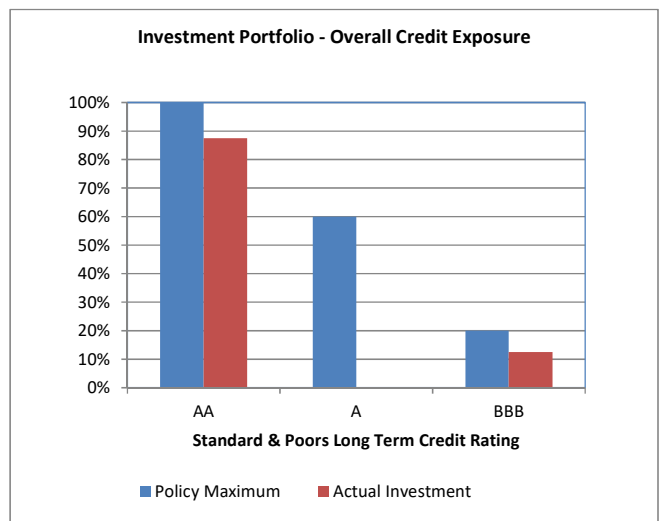
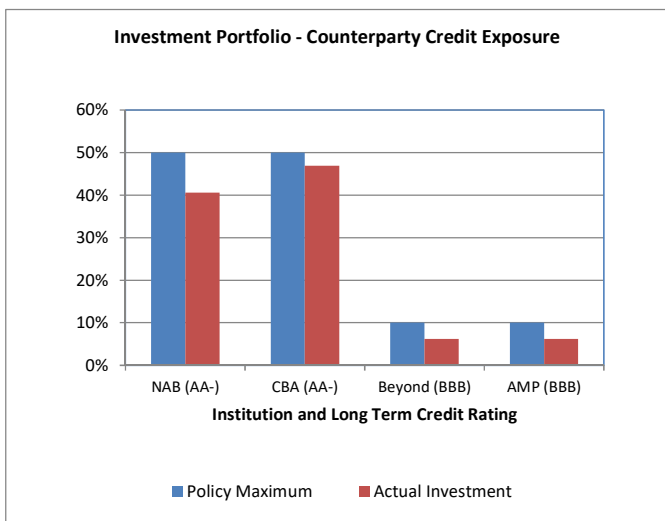
Counterparty Credit Exposure

Exposure to an individual authorised deposit-taking institution (ADI) counterparty will be restricted by their credit rating so that single entity exposure is limited.

Overall Credit Exposure

To control the credit quality on the entire portfolio, limits are placed on the percentage exposed to any particular credit rating category.

The following charts demonstrate the current portfolio diversity and risk compliance with the policy framework.





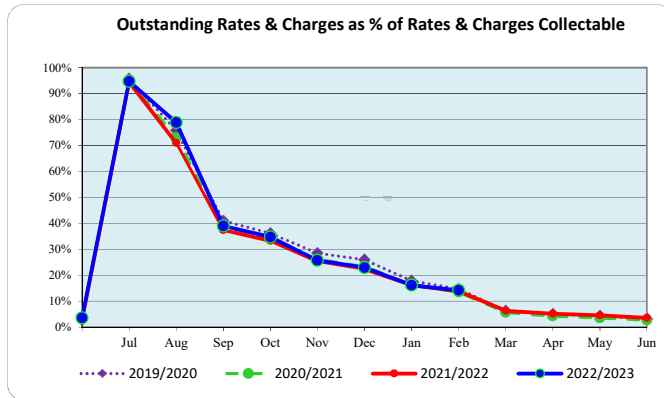
**Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023**

7. Accounts Receivable as at 28 February 2023

Rates and Charges Outstanding

2022/23 annual rates were raised on 28 July 2022 and were due by 21 September 2022 for payment in full or for the first of four instalments. For the 1,600 ratepayers who have elected to pay by the four instalment option, the fourth instalment will be due by 29 March 2023.

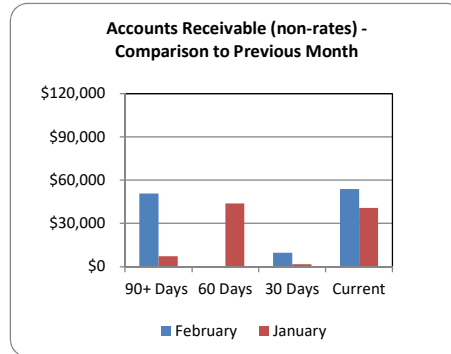
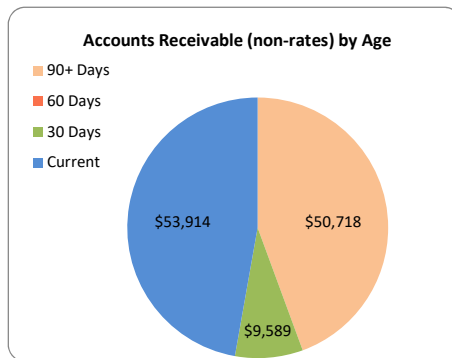
As at the reporting date, total outstanding rates and charges (including pensioner deferred rates) is \$2,570,946. This equates to 14% of rates and charges collectable and is at a similar position to previous years. It is the objective of management to achieve less than 4% of rates and charges outstanding by 30 June.



Sundry Debtors Outstanding (non-rates)

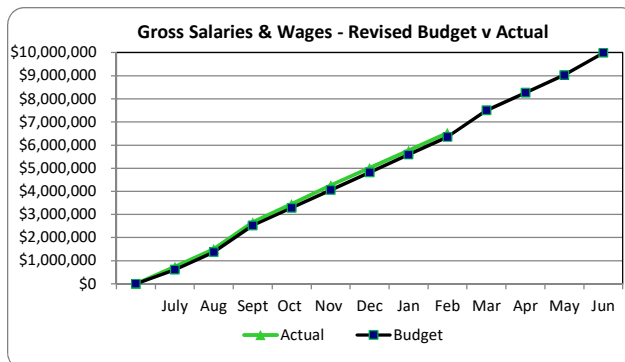
As at the reporting date, the total outstanding Sundry Debtors amount to \$93,561

The most significant invoices outstanding 60 days or longer relate to a government grant for sports lighting, annual licence fees for food premises and workers compensation payments. Follow up actions are in progress for receipt of these debts.



8. Salaries and Wages to 28 February 2023

At the reporting date, total salaries and wages expenditure is \$6,531,840 (65.39%) of the annual budget of \$9,989,148 for the 2022/23 financial year.





Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

RATING INFORMATION

RATE TYPE	Rate in	Number of properties	Rateable value	2022/23 Budget rate revenue	2022/23 Budget interim rates	2022/23 Budget back rates	2022/23 Budget total revenue	2022/23 Actual total revenue	2021/22 Actual total revenue	2021/22 Budget total revenue
	\$		\$	\$	\$	\$	\$	\$	\$	\$
Differential general rate or general rate										
Gross rental valuations										
General Rates - GRV: Residential	0.103260	4,069	75,050,605	7,749,725	0	0	7,749,725	7,749,977	6,391,857	6,391,857
General Rates - GRV: Commercial	0.103260	61	14,621,022	1,509,767	0	0	1,509,767	1,509,767	1,520,904	1,520,904
General Rates - GRV: Industrial	0.103260	65	8,975,470	926,807	0	0	926,807	926,807	830,417	830,417
General Rates - GRV: Small Holding	0.103260	369	8,638,608	892,023	0	0	892,023	892,023	817,475	817,475
General Rates - GRV: Interim and Back Rates	0.103260	0	0	0	111,668	0	111,668	124,848.52	99,081	92,600
Unimproved valuations										
General Rates - UV: Broad Acre Rural	0.006362	491	277,205,512	1,763,581	0	0	1,763,581	1,763,830	1,677,068	1,677,068
General Rates - UV: Mining	0.006362	0	0	0	0	0	0	0	0	0
General Rates - UV: Interim and Back Rates	0.006362	0	0	0	0	0	0	0	0	0
Sub-Totals		5,055	384,491,217	12,841,903	111,668	0	12,953,571	12,967,250	11,336,802	11,330,321
Minimum										
Minimum payment										
Gross rental valuations										
General Rates - GRV: Residential	1,547.50	834	9,953,955	1,290,615	0	0	1,290,615	1,290,615	2,237,685	2,237,685
General Rates - GRV: Commercial	1,547.50	9	67,360	13,927	0	0	13,927	13,928	10,833	10,833
General Rates - GRV: Industrial	1,547.50	49	505,650	75,828	0	0	75,828	75,828	68,090	68,090
General Rates - GRV: Small Holding	1,547.50	65	531,830	100,588	0	0	100,588	100,588	122,253	122,253
General Rates - GRV: Interim and Back Rates	1,547.50	0	0	0	0	0	0	0	0	0
Unimproved valuations										
General Rates - UV: Broad Acre Rural	1,547.50	130	19,723,287	201,175	0	0	201,175	201,175	194,985	194,985
General Rates - UV: Mining	1,547.50	18	232,409	27,855	0	0	27,855	27,855	21,665	21,665
General Rates - UV: Interim and Back Rates	1,547.50	0	0	0	0	0	0	0	0	0
Sub-Totals		1,105	31,014,491	1,709,988	0	0	1,709,988	1,709,988	2,655,511	2,655,511
		6,160	415,505,708	14,551,891	111,668	0	14,663,559	14,677,238.00	13,992,313	13,985,832
Concession on general rates							(12,062)	(34,514)	(37,427)	(25,027)
Rates write-off							(4,000)	(1,755)	(1,747)	(4,000)
Total amount raised from general rates							14,647,497	14,640,970	13,953,139	13,956,805
Specified area rates - bulk waste collection			83,442,010	109,726			109,726	109,968	102,893	103,719
Specified area rates - Eaton landscaping			90,508,822	264,740			264,740	266,024	251,632	250,882
Total specified area and ex gratia rates							374,466	375,992	354,525	354,601
Total rates							15,021,963	15,016,961	14,307,664	14,311,406



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

10. INFORMATION ON BORROWINGS

Debenture Repayments

Particulars	Loan No.	Principal	New		Principal		Interest		Principal	
		Opening Balance 01 July 2022	Loans 2022/23	Revised	Repayments	Revised	Repayments	Revised	Outstanding	Revised
		\$	Actual	Budget	Actual	Budget	Actual	Budget	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Community Amenities										
Wanju/Waterloo Industrial Park										
Developer Contribution Plans	70	679,751	0	0	(35,505)	(66,587)	(7,273)	(26,738)	644,246	613,164
Waste Bins (3 Bin System)	71	320,000	0	0	(43,150)	(43,150)	(6,973)	(7,821)	276,850	276,850
Recreation and Culture										
Eaton Recreation Centre	59	99,117	0		(48,830)	(99,118)	(3,176)	(4,741)	50,287	(0)
Glen Huon Oval Club Rooms	69	881,525	0	0	(44,429)	(44,429)	(36,465)	(39,375)	837,096	837,096
Sport Lighting / Eaton Oval C/Rooms	72	0	700,000	700,000	0	0	0	(20,052)	700,000	700,000
Transport										
Depot Land	66	383,437	0	0	(63,548)	(63,548)	(16,297)	(17,510)	319,889	319,889
Economic Services										
Gravel Pit Land - Panizza Road	61	41,220	0	0	(13,317)	(27,052)	(1,405)	(2,350)	27,903	14,168
Other Property and Services										
Administration Building Extensions	65	43,972	0	0	(21,606)	(43,971)	(1,773)	(2,650)	22,366	0
Library / Administration Centre	New	0	0	6,000,000	0	0	0	(92,010)	0	6,000,000
		2,449,022	700,000	6,700,000	(270,384)	(387,855)	(73,362)	(213,246)	2,878,638	8,761,167

All debenture repayments are financed by general purpose revenue.



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

11. BUDGET AMENDMENTS

Amendments to the original budget since budget adoption. Surplus/(Deficit)

GL/JOB Code	Description	Council Resolution	Classification	Non Cash Adjustment \$	Increase in Available Cash \$	Decrease in Available Cash \$	Revised Budget Running Balance \$
	Budget Adoption		Opening Surplus (Budgeted)				137,167
	Permanent Changes						
J12316	Bridge Renewals - Bridge 4930 Collie River Road (Krones)	27/07/22 - 190-22	Asset Acquisition			(125,000)	12,167
0341003	Transfer from Reserve - Unspent Grants	27/07/22 - 190-22	Transfer from Reserve		24,480		36,647
1241010	Transfer from Reserve - Carried Forward Projects Reserve	27/07/22 - 190-22	Transfer from Reserve		100,520		137,167
	Increase to Tourism and Events budget for Dardanup Bull & Barrel Festival and the Dardanup Arts Spectacular,	27/07/22 - 208-22	Operating Expense			(10,000)	127,167
1312501	Minor / Community Event Assistance	27/07/22 - 208-22	Operating Expense		10,000		137,167
J08714	Dardanup Civic Precinct	24/08/22 - 221-22	Asset Acquisition			(205,839)	(68,672)
J11653	Dardanup Central BFB Car Park	24/08/22 - 221-22	Asset Acquisition		205,839		137,167
J05026	SWDC Government Grant - Other Governance	28/09/22 - 232-22	Operating Grant		40,000		177,167
0422501	Consultants Special projects - Hydrogen Feasibility Study	28/09/22 - 232-22	Operating Expense			(40,000)	137,167
0412506	Contribution to Sports Lighting - Sofball	28/09/22 - 233-22	Capital Contribution			(20,000)	117,167
1121502	LRCI Grant - Sports Lighting	28/09/22 - 233-22	Capital Grant		45,000		162,167
1121501	LRCI Grant - Bridge Maintenance	28/09/22 - 233-22	Capital Grant			(45,000)	117,167
1221504	Ironstone Road Bridge	28/09/22 - 233-22	Asset Acquisition		45,000		162,167
J12307	CSRFF Grant - Sports Lighting	28/09/22 - 233-22	Capital Grant			(144,328)	17,839
1121501	Loan - Sports Lighting	28/09/22 - 233-22	Borrowings			(300,000)	(282,161)
1143009	Sports Lighting	28/09/22 - 233-22	Asset Acquisition		419,328		137,167
J11656	AWARE grant - Internal Emergency Support	28/09/22 - 236-22	Operating Revenue		10,000		147,167
0524501	Emergency Response and Recovery	28/09/22 - 236-22	Operating Expense			(10,000)	137,167
J05031	Transfer from Unspent Grants Reserve - LGGC Bridge 3658	26/10/22 - 267-22	Transfer from Reserve		276,000		413,167
0341003	Bridge Renewal - Ferguson Road Bridge 3658	26/10/22 - 267-22	Asset Acquisition			(276,000)	137,167
J12303	Construction - Wells Recreation Reserve Clubrooms	23/11/22 - 292-22	Asset Acquisition		426,190		563,357
J11639	Transfer from Carried Fwd Projects Reserve for Wells Recreation Clubrooms	23/11/22 - 292-22	Asset Acquisition		659,746		1,223,103
1241010	Grant Revenue - Public Halls - Wells Recreation Clubrooms	23/11/22 - 292-22	Asset Acquisition			(1,008,741)	214,362
1121501	Dardanup Central BFB Car Park	23/11/22 - 293-22	Asset Acquisition			(60,000)	154,362
J05026	Transfer to Buildings Reserve - Remaining Funds Wells Recreation Clubrooms	23/11/22 - 293-22	Transfer to Reserve			(17,195)	137,167
1131004	Dardanup Centenary Celebrations	23/11/22 - 294-22	Operating Expense			(10,000)	127,167
1119002							

(continued next page)



Notes to the Statement of Financial Activity
For the Period Ended 28 February 2023

11. BUDGET AMENDMENTS (continued)

Amendments to the original budget since budget adoption. Surplus/(Deficit)

GL/JOB Code	Description	Council Resolution	Classification	Non Cash Adjustment \$	Increase in Available Cash \$	Decrease in Available Cash \$	Revised Budget Running Balance \$
	Balance brought forward from previous page						127,167
0531002	Vehicles - Fire prevention - DFES Provided	23/11/22 - 295-22		(499,000)			127,167
0522502	Grant Revenue - ESL Asset Acquisition - DFES provided	23/11/22 - 295-22		499,000			127,167
J05021	Grant Expenditure - Bushfire Mitigation Activity	23/11/22 - 296-22				(68,203)	(68,203)
0521502	Grant Revenue Fire Prevention - Mitigation Activity	23/11/22 - 296-22			195,370		127,167
J11576	Eaton Skate Park - CCTV and playground fencing	23/11/22 - 299-22				(3,411)	123,756
1241010	Transfer from Reserve - Carried Forward Projects Reserve	23/11/22 - 299-22			3,411		127,167
J12666	Collie River Foreshore - Heritage Walk Trail erosion mitigation	23/11/22 - 304-22				(3,761)	123,406
0341003	Transfer from Unspent Grants Reserve - RFR Heritage Walk Trail	23/11/22 - 304-22			3,761		127,167
1016506	Collie River Road realignment	23/11/22 - 313-22				(70,400)	56,767
1241002	Transfer from Reserve - Road Construction and Major Maintenance Reserve	23/11/22 - 313-22			70,400		127,167
0533002	Vehicle Purchase - Ranger Services - Changeover DA8222	14/12/22 - 322-22				(43,911)	83,256
0543002	Sale of Vehicle - Ranger Services - Changeover DA8222	14/12/22 - 322-22			17,565		100,821
1444007	Transfer from Reserve - Executive & Compliance Vehicles - Changeover DA8222	14/12/22 - 322-22			26,346		127,167
1432011	Transfer to Reserve - Executive & Compliance Vehicles - Sale DA017	14/12/22 - 322-22				(34,502)	92,665
1444003	Sale of Vehicle - Public Works O/H - Sale DA017	14/12/22 - 322-22			34,502		127,167
1432012	Loan Principal Repayment - New Loan Library / Admin Centre - Date Change	14/12/22 - 322-22			121,593		248,760
1412043	Interest Expense - New Loan Library / Admin Centre - Date & Interest Rate Change	14/12/22 - 322-22				(7,210)	241,550
1412044	Gov't Guarantee Fee on New Loan Library / Admin Centre	14/12/22 - 322-22			11,204		252,754
1131014	Loan Principal Repayment - New Loan Sports Buildings - Date Change	14/12/22 - 322-22			20,265		273,019
1113014	Interest Expense - New Loan Sports Buildings - Date, Amount & Interest Rate Change	14/12/22 - 322-22				(11,145)	261,874
1113012	Adjustment to Gov't Guarantee Fee on New Loan Sports Building	14/12/22 - 322-22			1,104		262,978
1113015	Interest Expense - New Loan Sports Lighting	14/12/22 - 322-22			5,226		268,204
J05022	Building construction Dardanup Central BFB	25/01/23 - 07-23				(6,495)	261,709
0522503	Poad Contribution to Dardanup Central BFB Fit out	25/01/23 - 07-23			6,495		268,204
J11521	Parks and Reserves Capital - Carramar Park Park Bench and Picnic Setting	25/01/23 - 07-23				(14,936)	253,268
1123504	Parks and Reserves Contributions Carramar Park	25/01/23 - 07-23			14,936		268,204
1123504	Parks and Reserves Contributions Ardross Estates East Millbridge POS	25/01/23 - 08-23			40,000		308,204
J11650	East Millbridge Public Open Space Project	25/01/23 - 08-23				(40,000)	268,204
1134004	Eaton Recreation Centre Reserve funds to be used for new coffee equipment	22/02/23 - 22-23				(10,243)	257,961
1134002	Eaton Recreation Centre Equipment increase for new Coffee Machine	22/02/23 - 22-23			6,908		264,869
1114504	Eaton Recreation Centre Minor Asset increase for new Coffee Grinder	22/02/23 - 22-23			3,335		268,204
					2,834,281	(2,703,244)	268,204

RISK ASSESSMENT TOOL

OVERALL RISK EVENT: Schedule of Paid Accounts as at the 28th February 2023

RISK THEME PROFILE:

3 - Failure to Fulfil Compliance Requirements (Statutory, Regulatory)

6 - Engagement Practices

RISK ASSESSMENT CONTEXT: Operational

CONSEQUENCE CATEGORY	RISK EVENT	PRIOR TO TREATMENT OR CONTROL			RISK ACTION PLAN (Treatment or controls proposed)	AFTER TREATMENT OR CONTROL		
		CONSEQUENCE	LIKELIHOOD	INHERENT RISK RATING		CONSEQUENCE	LIKELIHOOD	RESIDUAL RISK RATING
HEALTH	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
FINANCIAL IMPACT	Not monitoring ongoing financial performance would increase the risk of a negative impact on the financial position.	Moderate (3)	Unlikely (2)	Moderate (5 - 11)	Not required.	Not required.	Not required.	Not required.
SERVICE INTERRUPTION	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.
LEGAL AND COMPLIANCE	Non-compliance with the legislative requirements that results in a qualified audit.	Minor (2)	Unlikely (2)	Low (1 - 4)	Not required.	Not required.	Not required.	Not required.
REPUTATIONAL	Non-compliance that results in a qualified audit can lead stakeholders to question the Council's ability to manage finances effectively.	Insignificant (1)	Unlikely (2)	Low (1 - 4)	Not required.	Not required.	Not required.	Not required.
ENVIRONMENT	No risk event identified for this category.	Not Required - No Risk Identified	N/A	N/A	Not required.	Not required.	Not required.	Not required.